

- BOWMAN WOODS ELEMENTARY CEDAR RAPIDS, IA
- INDIAN CREEK ELEMENTARY MARION, IA
- WILKINS ELEMENTARY MARION, IA

95% Construction Documents ISSUED: 02/06/2018



DESIGN & CONSTRUCTION TEAM

ARCHITECT

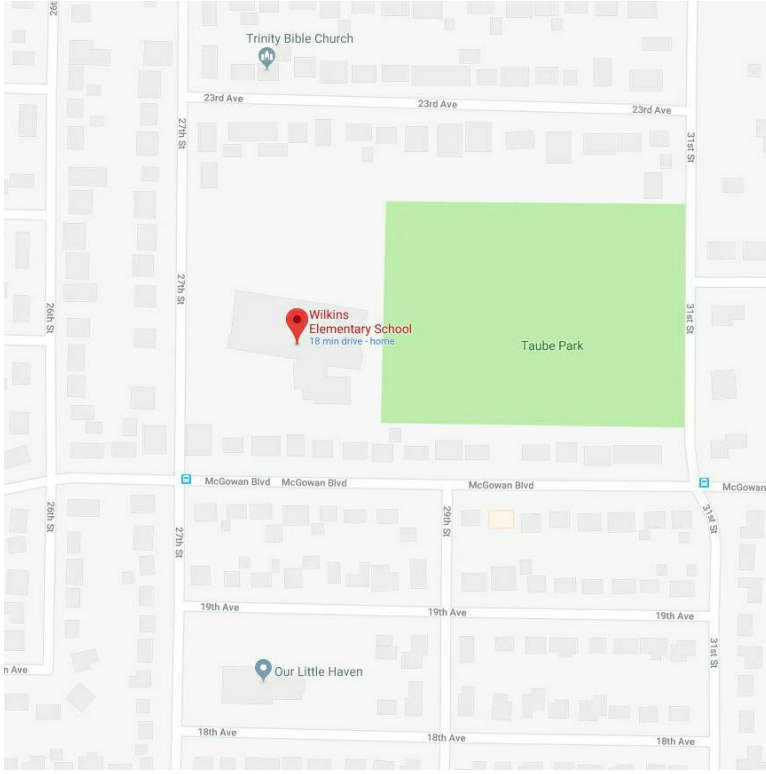
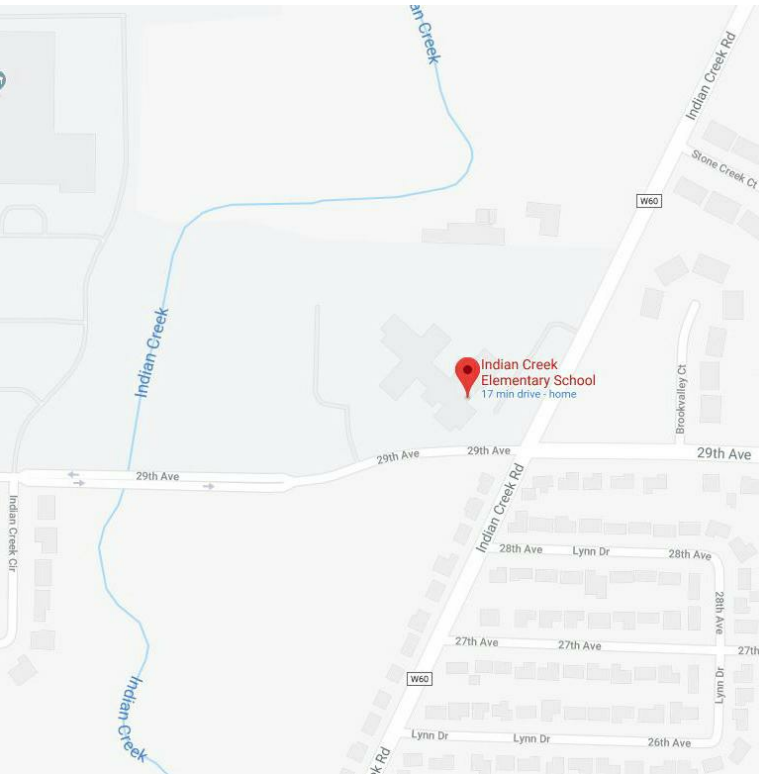
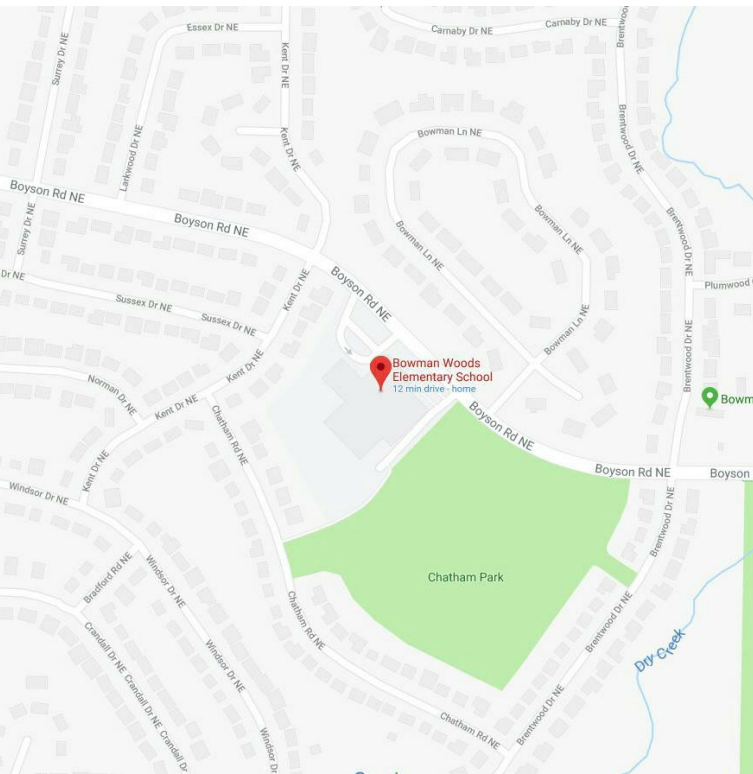
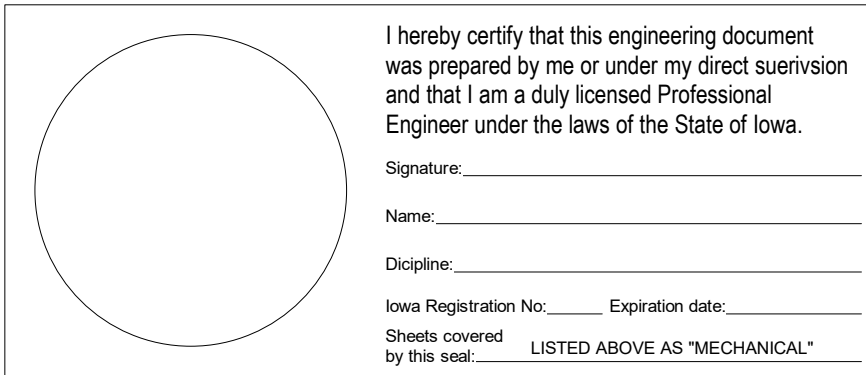
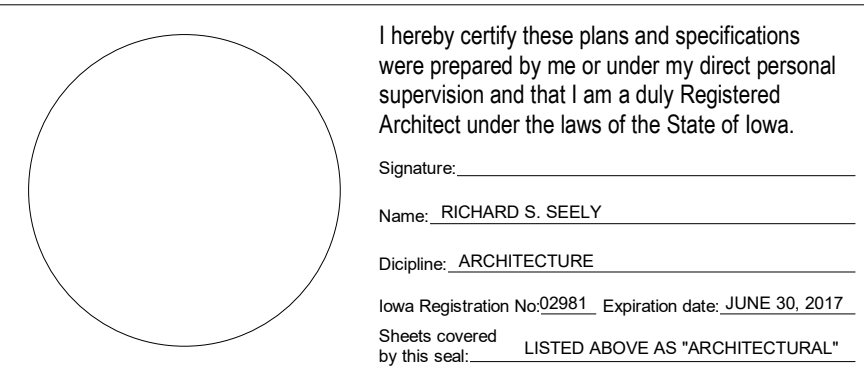
OPN ARCHITECTS
200 5TH AVE. SE, SUITE 200
CEDAR RAPIDS, IA 52401

MEP ENGINEER/ BUILDER

DESIGN ENGINEERS
8801 PRAIRIEVIEW LANE SW, SUITE 200
CEDAR RAPIDS, IA 52404

ARCHITECT:
OPN ARCHITECTS

MECHANICAL ENGINEER: DESIGN ENGINEERS



BOWMAN WOODS ELEMENTARY
51 BOYSON ROAD NE,
CEDAR RAPIDS, IOWA 52402

ARCHITECTURAL DRAWINGS

SHEET NUMBER	SHEET NAME
A110	OVERALL FLOOR
A111	PLANS & ELEVATIONS
A112	PLANS & ELEVATIONS
A113	PLANS & ELEVATIONS
A114	PLANS & ELEVATIONS
A115	PLANS & ELEVATIONS

MEP DRAWINGS

SHEET NUMBER	SHEET NAME
E111	ELECTRICAL
E112	ELECTRICAL
P111	PLUMBING FL
P112	PLUMBING FL

INDIAN CREEK ELEMENTARY
2900 INDIAN CREEK ROAD,
MARION, IOWA 52302

ARCHITECTURAL DRAWINGS

SHEET NUMBER	SHEET NAME
A210	OVERALL FLO
A211	PLANS & ELE
A212	PLANS & ELE
A213	PLANS & ELE
A214	PLANS & ELE

MEP DRAWINGS

SHEET NUMBER	SHEET NAME
E211	ELECTRICAL
P211	PLUMBING F

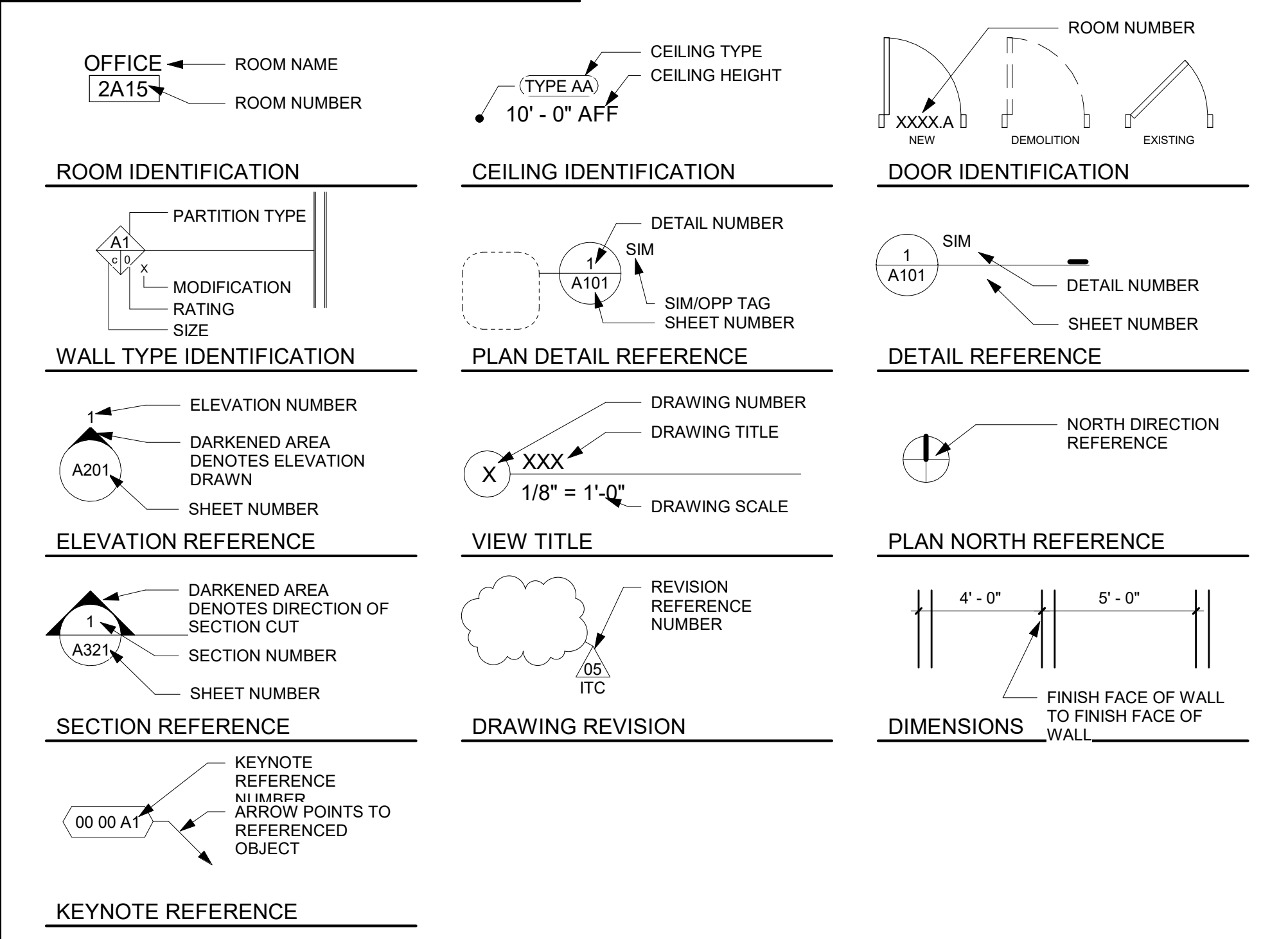
WILKINS ELEMENTARY
2127 27TH STREET,
MARION, IOWA 52302

ARCHITECTURAL DRAWINGS

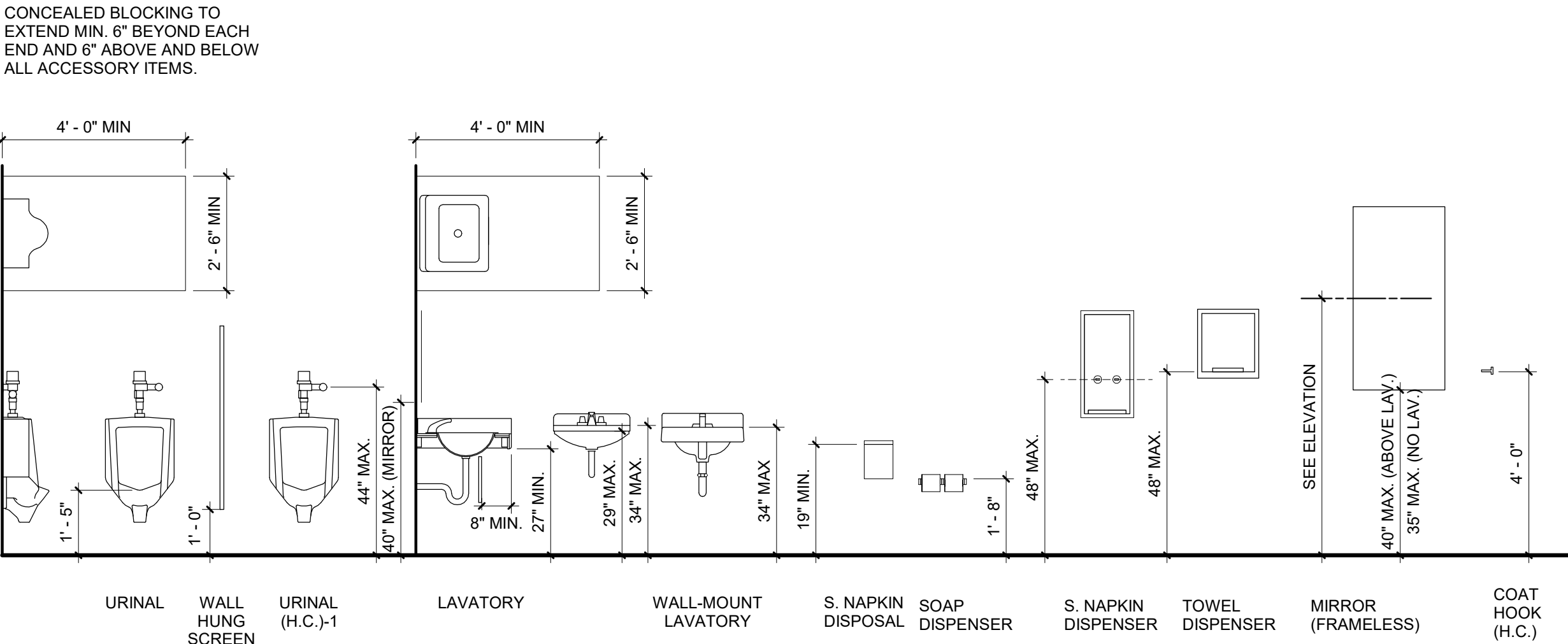
SHEET NUMBER	SHEET NAME
A310	OVERALL FLOOR PLAN
A311	PLANS & ELEVATIONS
A312	PLANS & ELEVATIONS
A313	PLANS & ELEVATIONS
A314	CASEWORK AND DETAILS

MEP DRAWINGS

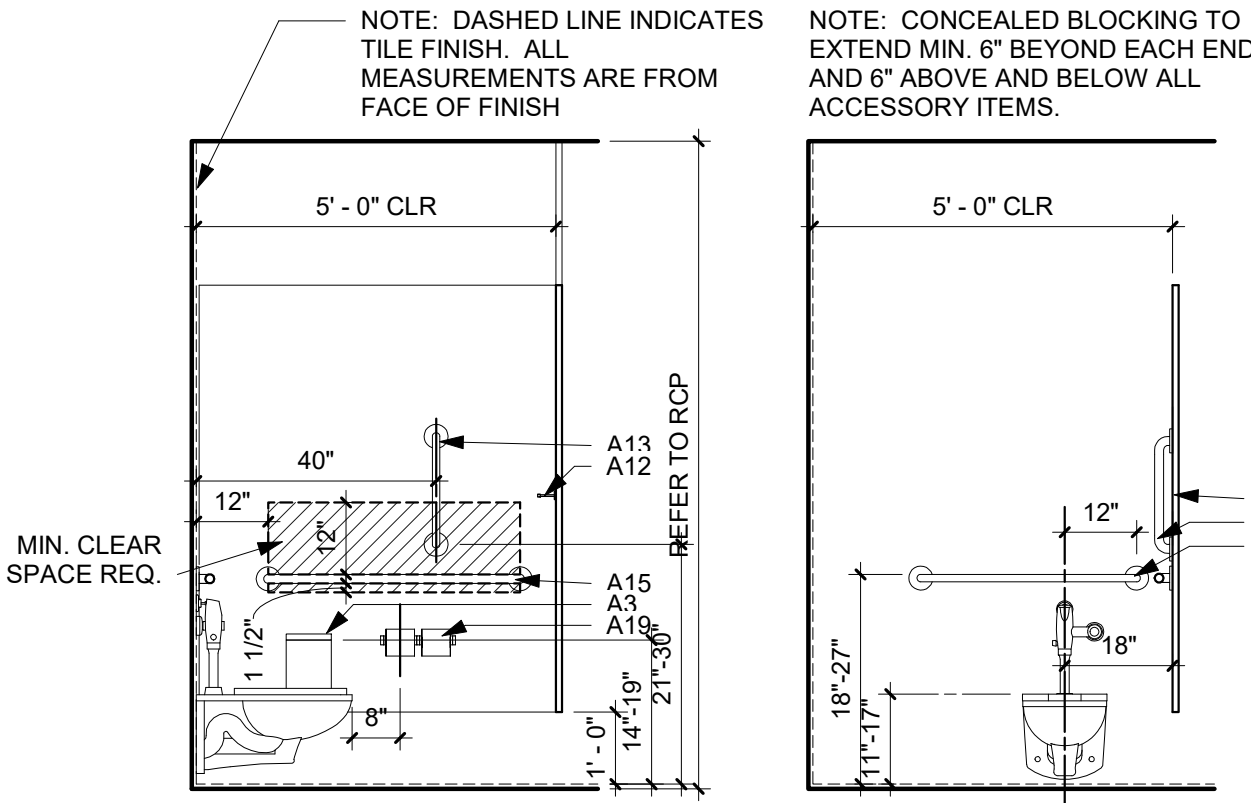
SHEET NUMBER	SHEET NAME
E311	ELECTRICAL FLOOR PLANS
P311	PLUMBING FLOOR PLANS
E540	ELECTRICAL NOTES AND SYMBOLS
P500	PLUMBING SCHEDULES AND DETAILS



STANDARD SYMBOLS

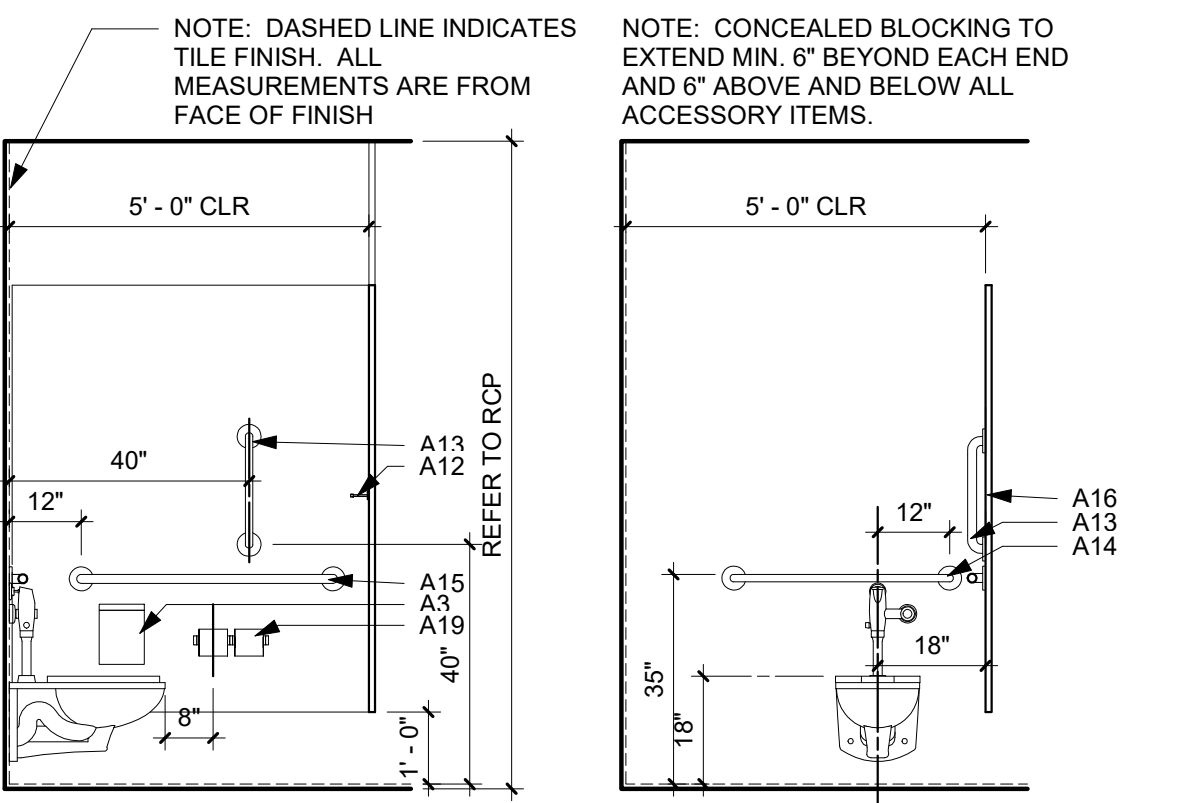


STANDARD MOUNTING HEIGHTS - ADULT



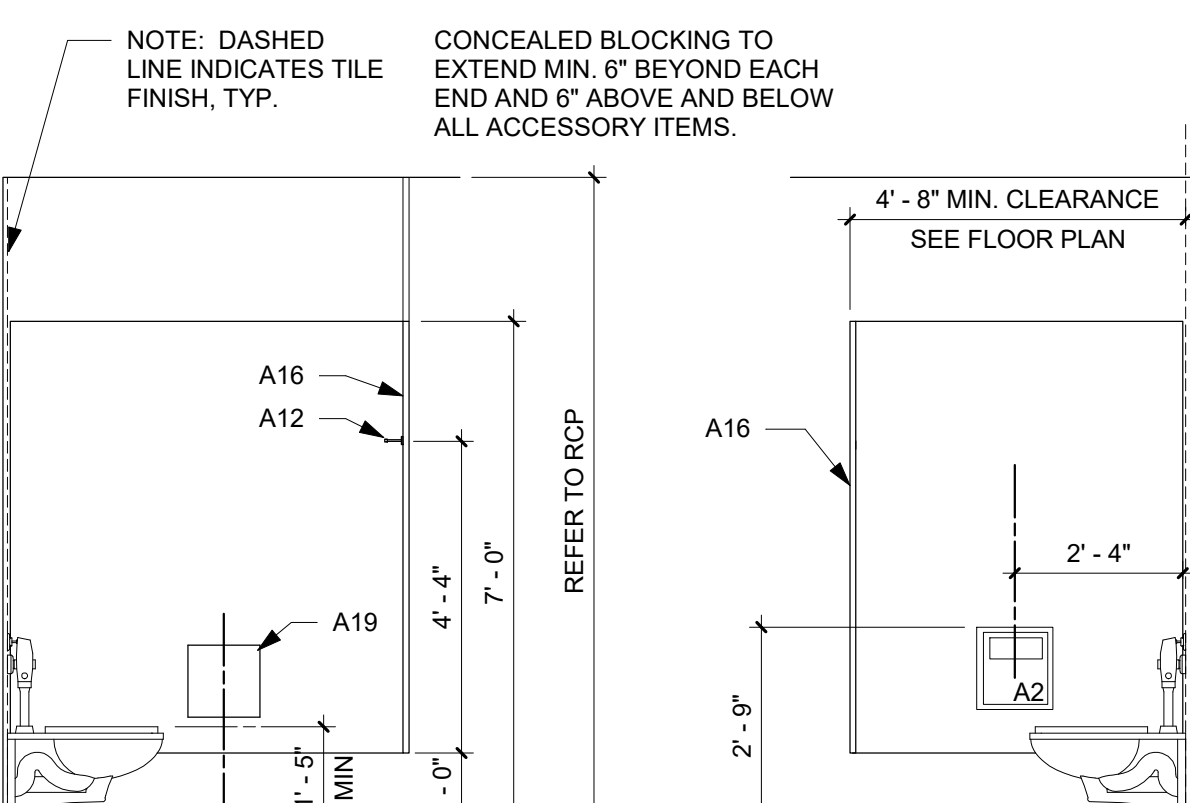
NOTE: DOOR TO BE 32" CLR.

ACCESSIBLE TOILET STALL MOUNTING HEIGHTS AND DETAILS - ADULT

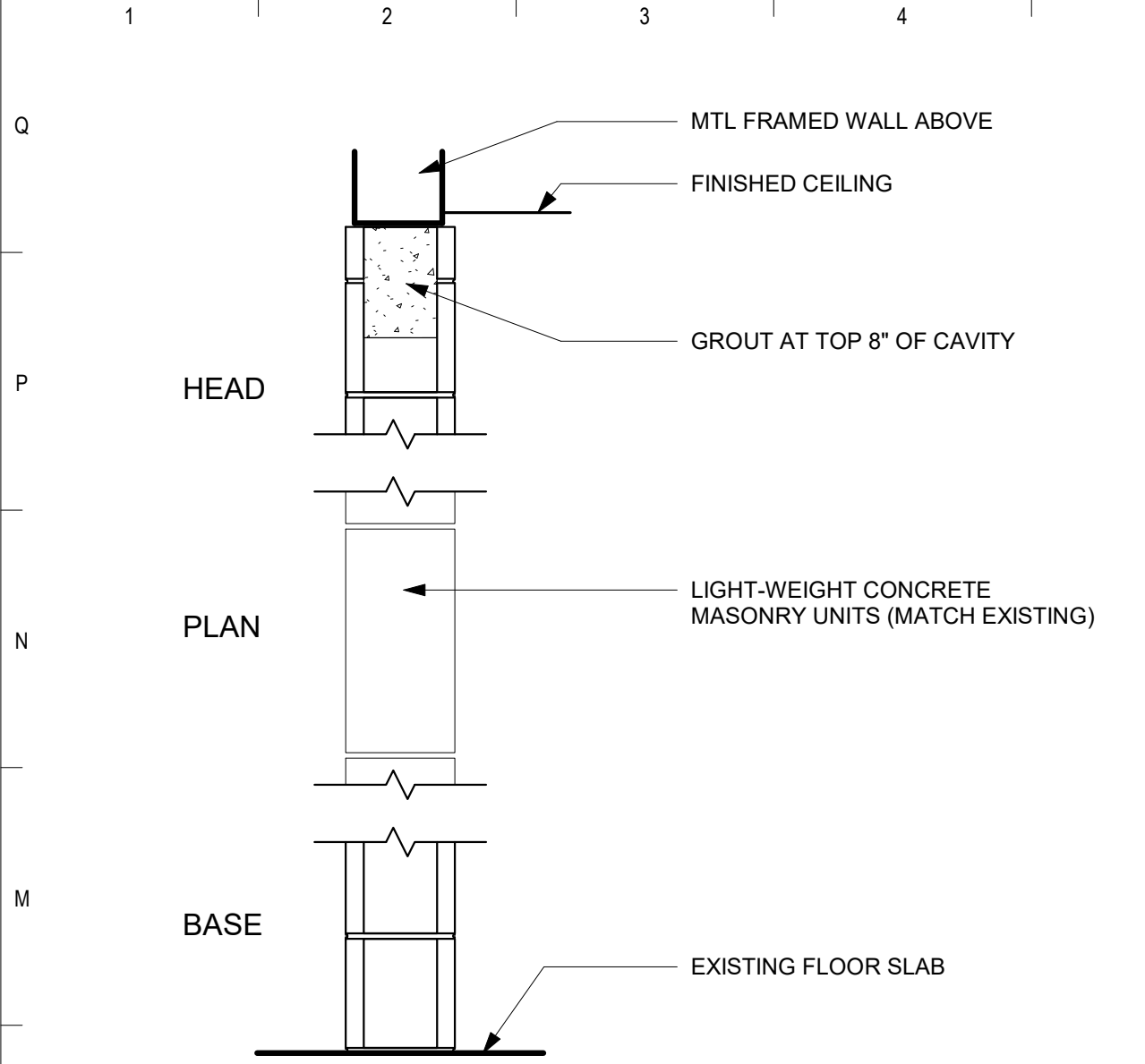


NOTE: DOOR TO BE 32" CLR.

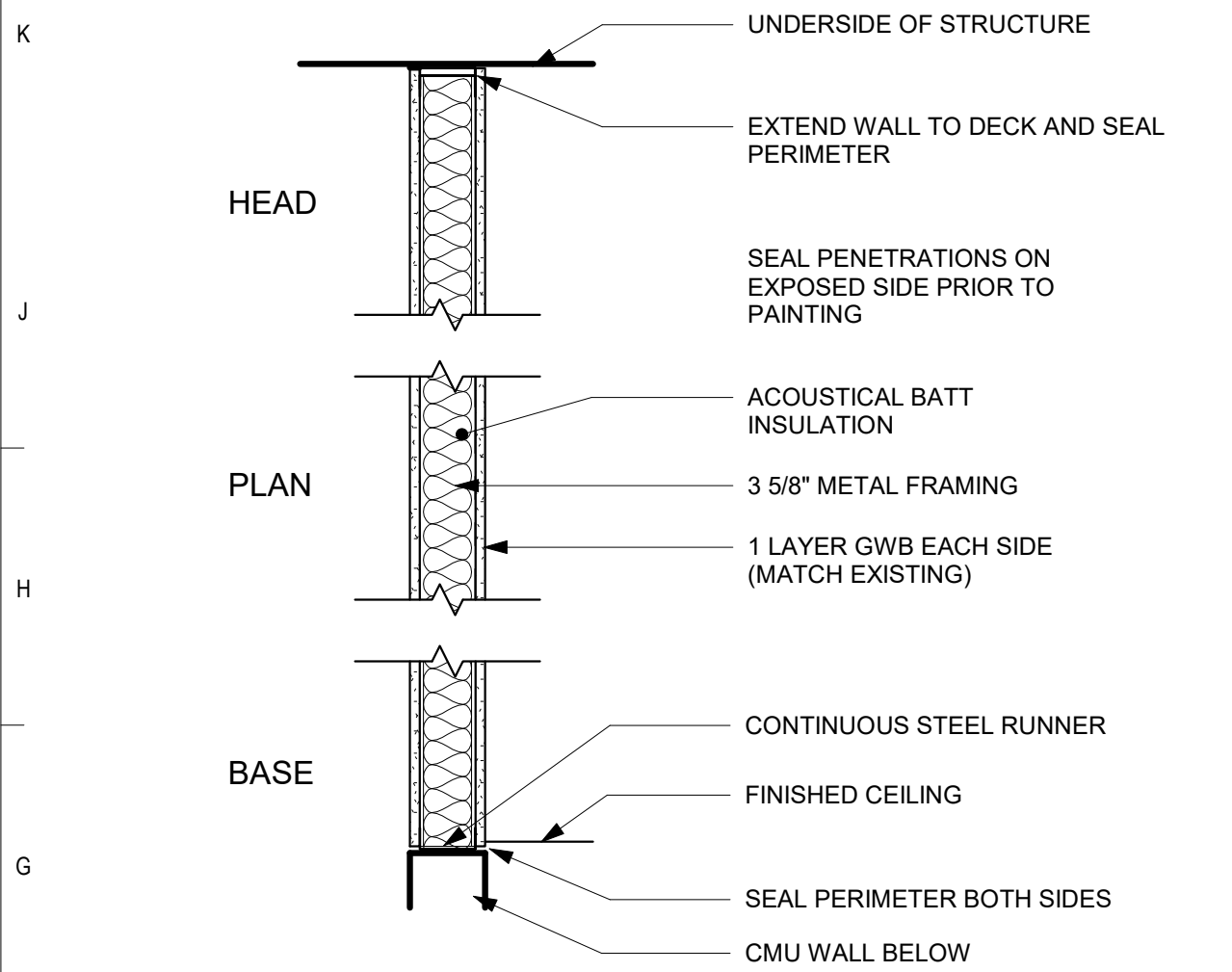
ACCESSIBLE TOILET STALL MOUNTING HEIGHTS AND DETAILS - ADULT



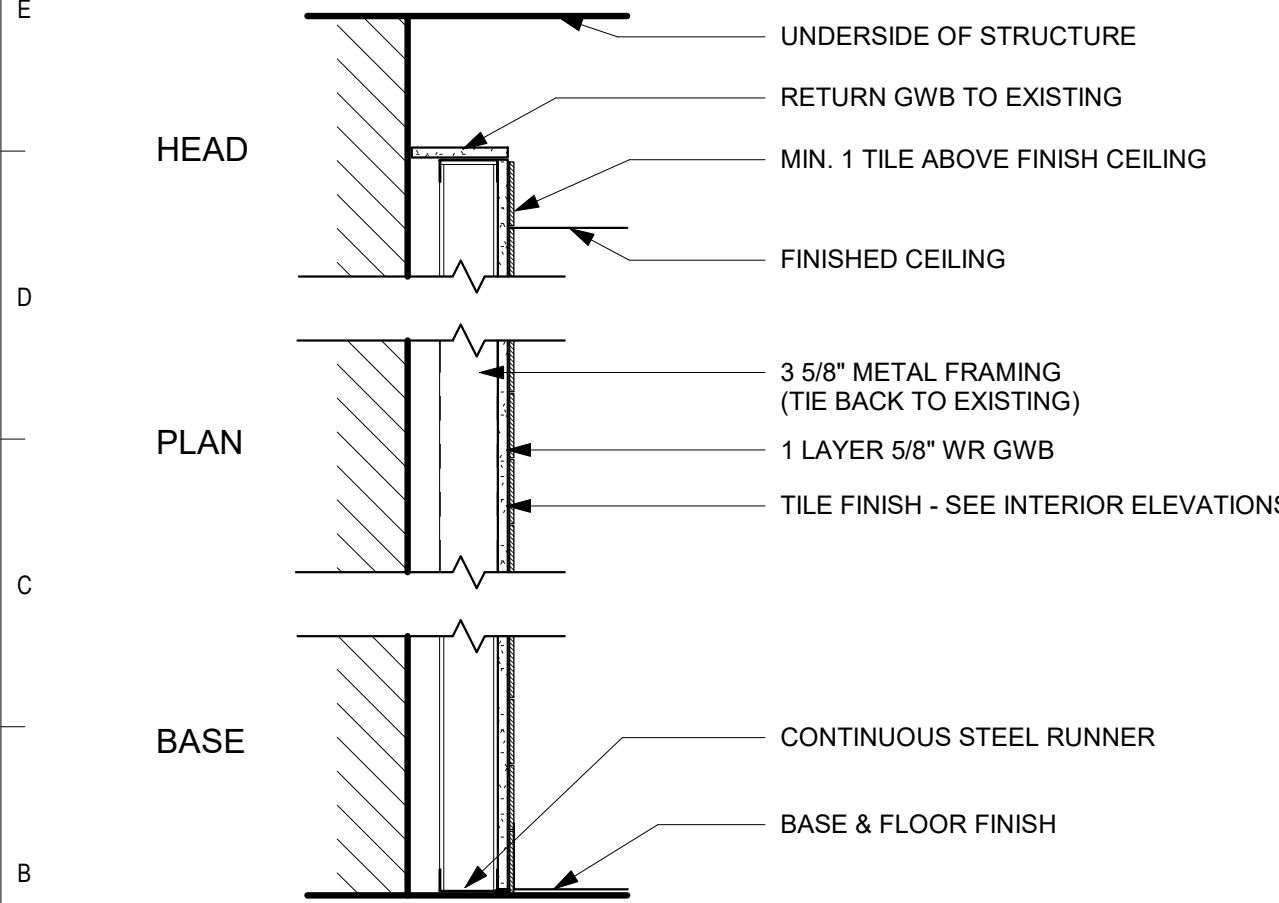
STANDARD TOILET STALL MOUNTING HEIGHTS AND DETAILS - ADULT



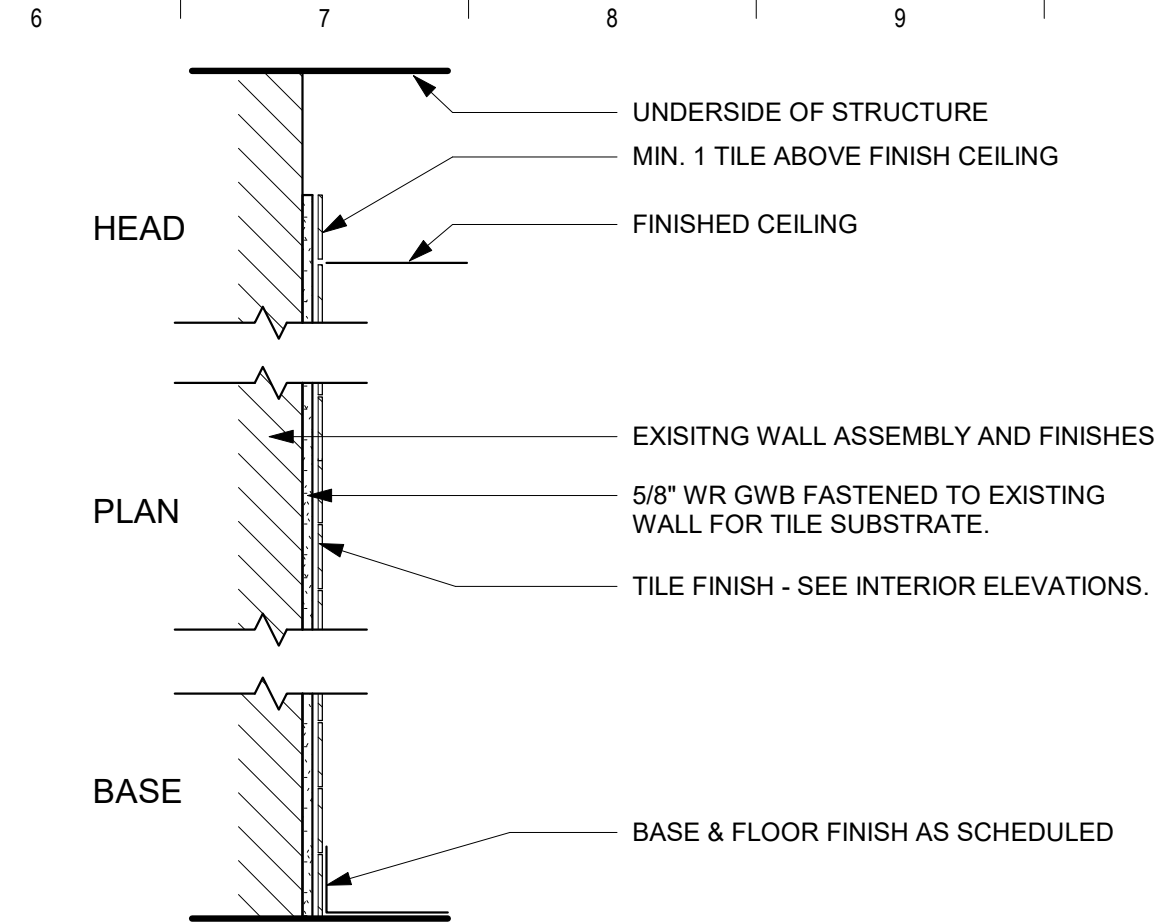
M6 CMU PARTITION
NON RATED / NON-LOAD BEARING



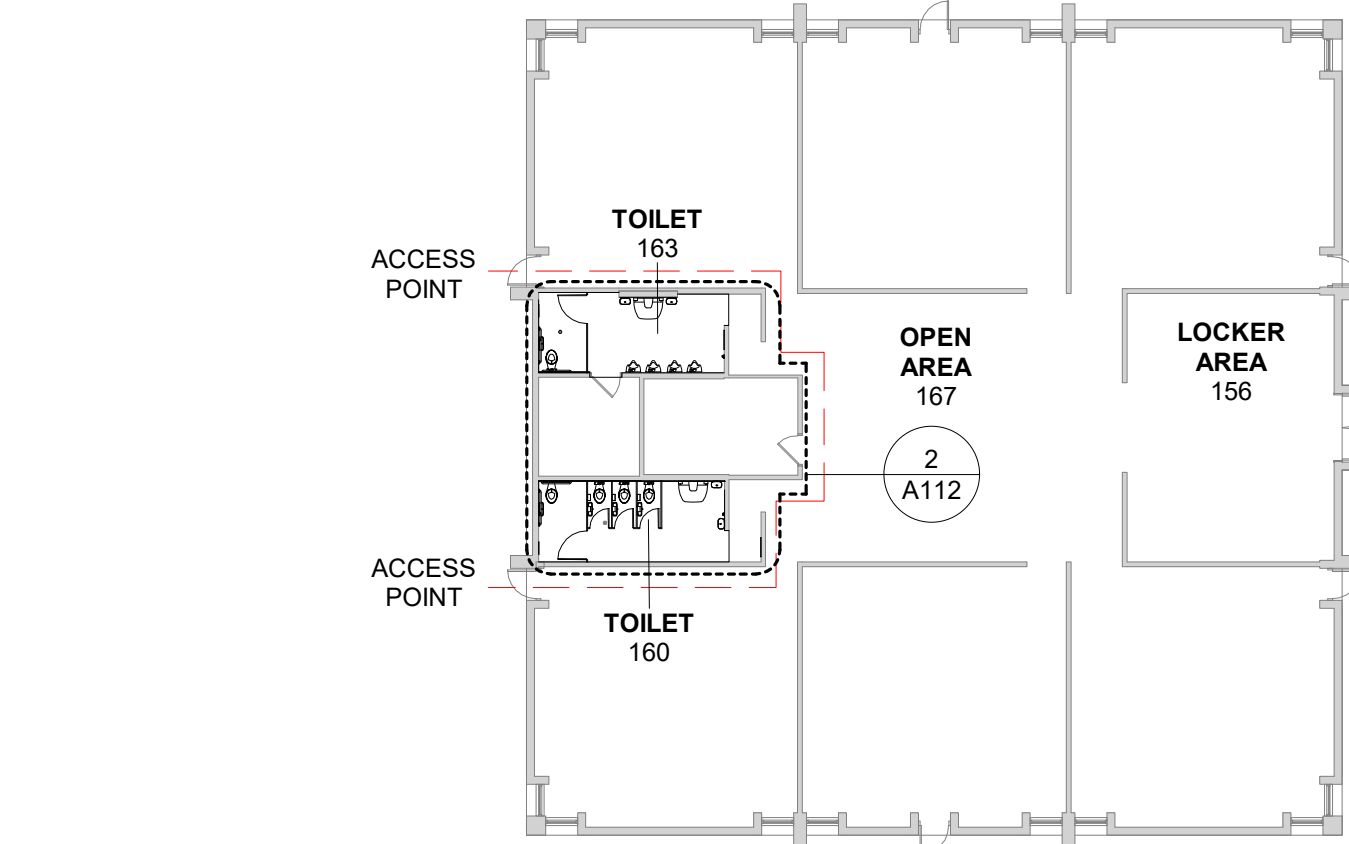
A4 METAL FRAMED PARTITION
NON RATED / NON-LOAD BEARING



F4 METAL FRAMED FURRING
NON RATED / NON-LOAD BEARING

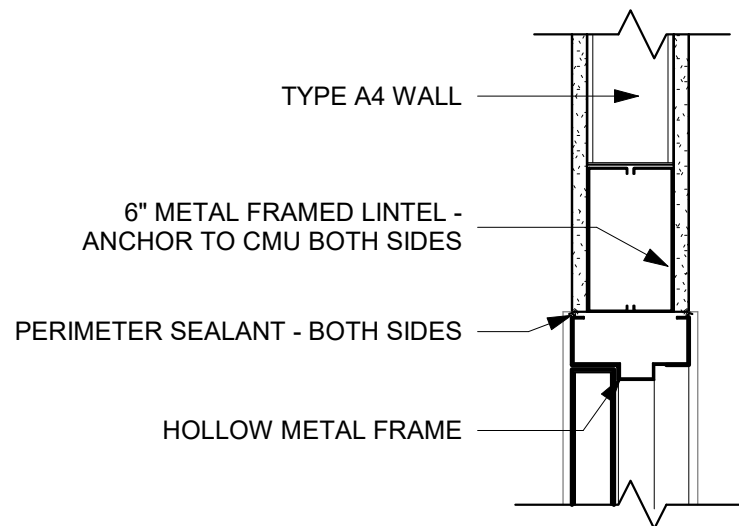


C1 OVERLAY TILE FINISH



FLOOR REPLACMENT PROJECT,
COORDINATE ACCESS TO TOILET
116 & 121 WITH OWNER

1 OVERALL FLOOR PLAN - BOWMAN WOODS
1" = 20'-0"



2 GWB FRAME HEAD
1 1/2" = 1'-0"

DOOR SCHEDULE NOTES

- PREPARE DOOR FRAMES FOR PAINT - BONDO FRAME DENTS AND SAND SCRATCHES SMOOTH.
- PAINT EXISTING HOLLOW METAL DOORS AND FRAMES.
- DOOR HARDWARE TO BE REPLACED ON EXISTING DOOR.
- PAINT EXISTING HOLLOW METAL FRAME.

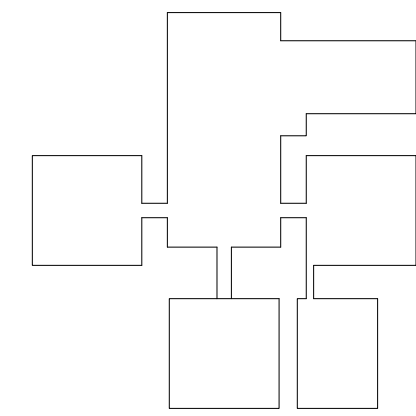
DOOR SCHEDULE										
DOOR	TYPE	WIDTH	PANEL			FRAME			REMARKS	H/DWE SET
			HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH			
100A	EX	3'-0"	7'-6"	EX	EX	EX	PNT	1,4		
144A	F	3'-0"	7'-6"	WD	STN	HM	PNT			1
151A	F	3'-0"	7'-6"	WD	STN	HM	PNT			1
163	EX	3'-0"	7'-6"	EX	PNT	EX	PNT	1,2		
177	EX	3'-0"	7'-6"	EX	PNT	EX	PNT	1,2		
192	EX	3'-0"	7'-6"	EX	PNT	EX	PNT	1,2		
199C	EX	3'-0"	7'-6"	EX	EX	EX	PNT	1,4		

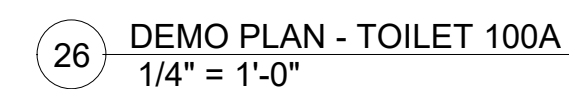
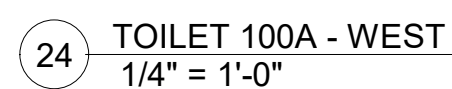
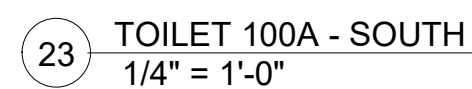
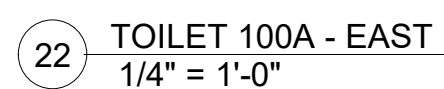
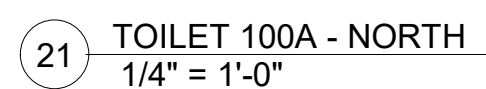
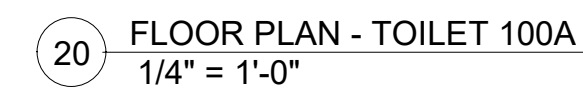
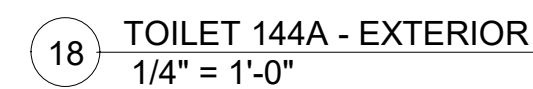
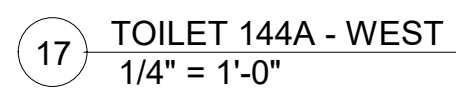
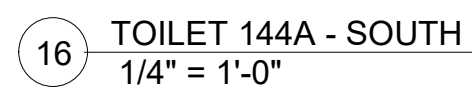
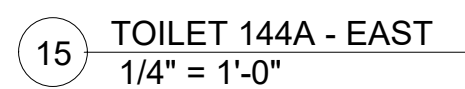
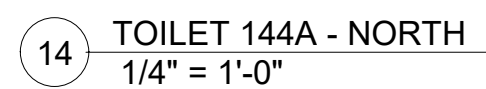
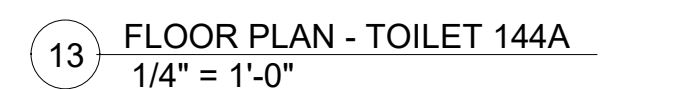
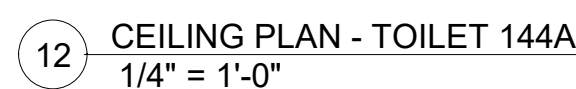
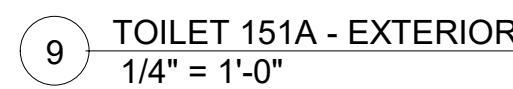
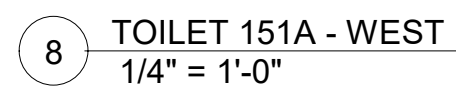
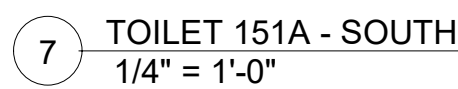
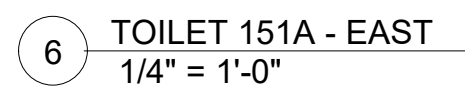
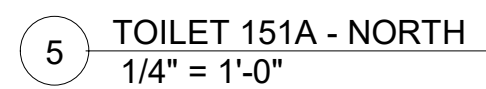
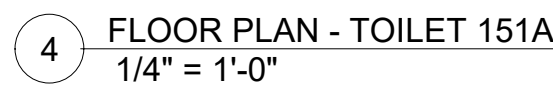
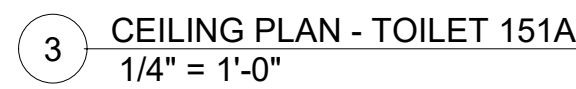
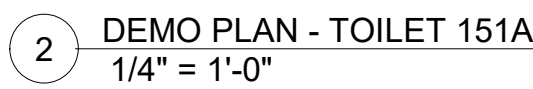
GENERAL NOTES

- REFER TO PLANS AND ELEVATIONS FOR LOCATION AND EXTENT OF FINISHES.
- ALL EXPOSED DRYWALL TO RECEIVE PAINT UNLESS NOTED OTHERWISE.
- ALL HOLLOW METAL DOORS AND FRAMES NOTED TO BE PAINTED TO MATCH THE COLOR OF THE WALL IN WHICH THEY OCCUR U.N.O.
- ALL FLOORING MATERIAL TRANSITIONS AND TERMINATIONS ARE TO BE CENTERED UNDER DOOR LEAFS IN CLOSED POSITION U.N.O.
- PROVIDE FLOORING TRANSITION STRIPS AT FLOOR MATERIAL CHANGES.

BUILDING ACCESS LIMITATIONS

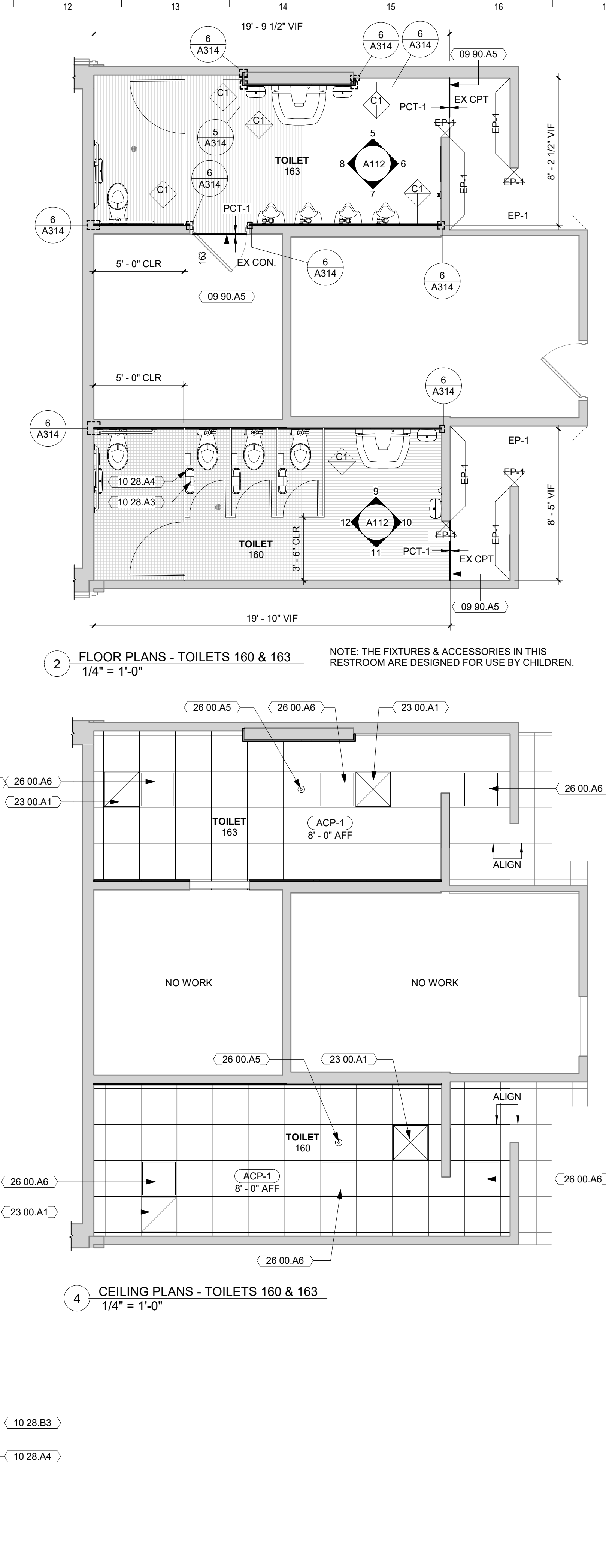
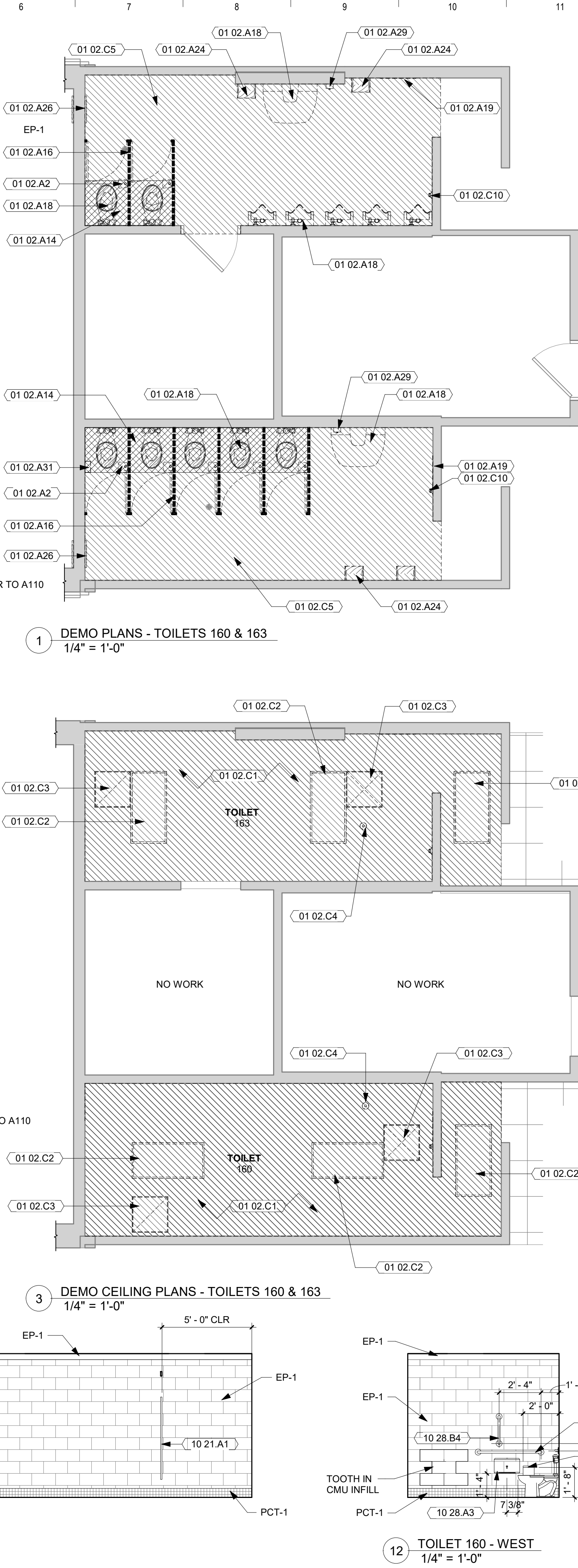
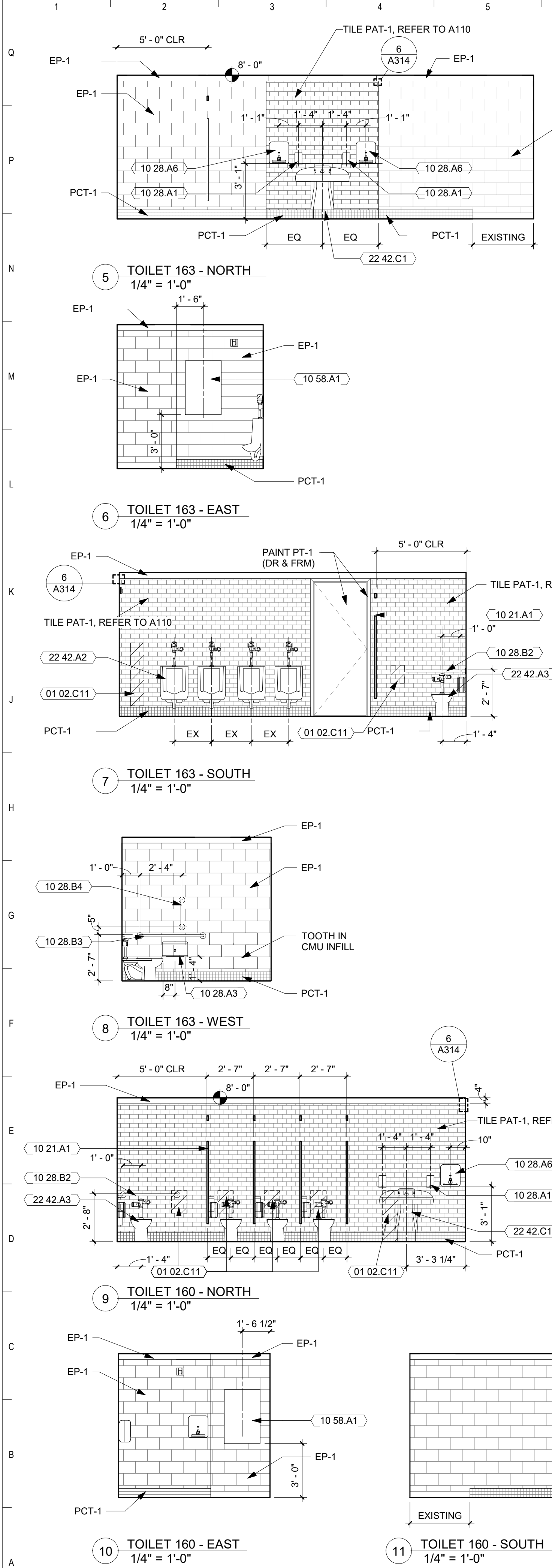
- COVER ALL TRAVEL FLOOR SURFACES AND WALLS WITH RASIN PAPER.
- COORDINATE UTILITY SHUT OFFS WITH OWNER.
- PROVIDE OWN FACILITIES, BUILDING FACILITIES ARE NOT PERMITTED FOR USE.
- COORDINATE WASTE REMOVAL LOCATION WITH OWNER.





- ## GENERAL NOTES - DEMO
1. IDENTIFICATION AND/OR ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THIS SCOPE OF WORK. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
 3. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION OF OTHER DISCIPLINES.
 4. PROTECT ALL ADJACENT AREAS AND MATERIALS REMAINING DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.

- ## GENERAL NOTES
1. DIMENSIONS ARE MEASURED FACE-OF-FINISH TO FACE-OF-FINISH OR FROM EXISTING OPENING UNLESS NOTED OTHERWISE - TYPICAL FOR ALL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS.
 3. IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS.
 4. PROVIDE CONCEALED WOOD BLOCKING AT ALL ACCESSORIES IN FRAMED WALLS. EXTEND BLOCKING A MINIMUM OF 6" BEYOND EACH END AND 6" ABOVE AND BELOW ALL ACCESSORY ITEMS.
 5. PATCH AND REPAIR EXISTING FLOOR SLAB AND WALL SURFACES DAMAGED FROM DEMOLITION.
 6. CEILING-MOUNTED FIXTURES, SPRINKLERS AND EQUIPMENT SHALL BE MOUNTED IN CEILING PANELS OR GYPSUM BOARD SOFFITS AND EQUALLY SPACED UNLESS NOTED OTHERWISE.
 7. REFER TO ARCHITECTURAL DRAWINGS FOR DEVICE AND FIXTURE LOCATIONS & MOUNTING HEIGHTS.



GENERAL NOTES	
1.	DIMENSIONS ARE MEASURED FACE-OF-FINISH TO FACE-OF-FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE - TYPICAL FOR ALL DRAWINGS.
2.	FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS.
3.	IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS.
4.	PROVIDE CONCEALED WOOD BLOCKING AT ALL ACCESSORIES IN FRAMED WALLS. EXTEND BLOCKING A MINIMUM OF 6" BEYOND EACH END AND 6" ABOVE AND BELOW ALL ACCESSORY ITEMS.
5.	PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.
6.	CEILING-MOUNTED FIXTURES, SPRINKLERS AND EQUIPMENT SHALL BE CENTERED IN CEILING PANELS OR GYPSUM BOARD SOFFITS AND EQUALLY SPACED UNLESS NOTED OTHERWISE.
7.	REFER TO ARCHITECTURAL DRAWINGS FOR DEVICE AND FIXTURE LOCATIONS & MOUNTING HEIGHTS.

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2.	CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
3.	REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION OF OTHER DISCIPLINES.
4.	PROTECT ALL ADJACENT AREAS AND ITEMS 'TO REMAIN' DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.

KEYNOTE LEGEND	
01 02.A2	REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH.
01 02.A14	POTENTIAL AREA OF SLAB TO BE REMOVED FOR NEW PLUMBING WORK. COORDINATE WITH MEP. INFILL W/ NEW CONCRETE TO MATCH, PREPARE SURFACE FOR NEW FLOOR FINISH.
01 02.A16	REMOVE EXISTING TOILET PARTITIONS COMPLETE.
01 02.A18	REMOVE EXISTING PLUMBING FIXTURE, REFER TO MEP DRAWINGS.
01 02.A19	REMOVE EXISTING MIRROR. PATCH & REPAIR WALL, PREP FOR NEW FINISH.
01 02.A24	REMOVE EXISTING PAPER TOWEL DISPENSER. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A26	EXISTING WALL HEATER TO BE REMOVED BY OWNER. CONTRACTOR TO PATCH & REPAIR ADJACENT SURFACES TO RECEIVE NEW FINISHES. COORDINATE PAINTING OF INFILL.
01 02.A29	REMOVE EXISTING SOAP DISPENSER COMPLETE. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A31	REMOVE EXISTING SANITARY NAPKIN DISPOSAL COMPLETE. PATCH & REPAIR WALL, PREP FOR NEW FINISH.
01 02.C1	REMOVE EXISTING CEILING & SUPPORT SYSTEM.
01 02.C2	REMOVE EXISTING LIGHT FIXTURE, REFER TO MEP DRAWINGS.
01 02.C3	REMOVE EXISTING MECHANICAL DIFFUSER, REFER TO MEP DRAWINGS.
01 02.C4	REMOVE EXISTING CEILING MOUNTED OCCUPANCY SENSOR, REFER TO MEP DRAWINGS.
01 02.C5	REMOVE EXISTING TILE FLOOR FINISH AND WALL BASE. PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. REFER TO SPECIFICATIONS.
01 02.C10	REMOVE EXISTING FIRE STROBE, REFER TO MEP DRAWINGS.
01 02.C11	REMOVE WALL FOR PLUMBING, PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. COORDINATE WITH MEP.
09 90.A1	EP-1
09 90.A3	PCT-1
09 90.A4	TILE PAT-1, REFER TO A110
09 90.A5	SOLID PLASTIC TOILET PARTITION, REFER TO SPECIFICATIONS
10 28.A1	SOAP DISPENSER, OFCI
10 28.A3	TOILET TISSUE DISPENSER, OFCI
10 28.A4	WALL-MOUNTED SANITARY NAPKIN DISPOSAL, OFCI
10 28.A6	WALL-MOUNTED PAPER TOWEL DISPENSER, OFCI
10 28.B2	GRAB BAR - 36"
10 28.B3	GRAB BAR - 42"
10 28.B4	GRAB BAR - VERTICAL - 18"
10 58.A1	24"x36" FRAMELESS MIRROR
22 42.A2	WALL-MOUNTED URINAL, REFER TO MEP DRAWINGS
22 42.A3	FLOOR-MOUNTED TOILET, REFER TO MEPD DRAWINGS
22 42.C1	WALL MOUNTED LAVATORY, REFER TO MEP DRAWINGS
23 00.A1	MECHANICAL DIFFUSER. REFER TO MEP DRAWINGS.
26 00.A5	OCCUPANT SENSOR. REFER TO MEP DRAWINGS.
26 00.A6	LIGHT FIXTURE. REFER TO MEP DRAWINGS.

OPN ARCHITECTS

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319-363-7349 FAX
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opn@opnarchitects.com

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Owner
LINN-MAR COMMUNITY SCHOOL DISTRICT

Project
ELEMENTARY RESTROOM REMODELINGS
BOWMAN WOODS ELEMENTARY
CEDAR RAPIDS, IA

Mechanical Engineer
Design Engineers
8801 PRAIRIE VIEW LANE SW,
SUITE 200
CEDAR RAPIDS, IA 52404
P. 319-841-1944

Electrical Engineer
Design Engineers
8801 PRAIRIE VIEW LANE SW,
SUITE 200
CEDAR RAPIDS, IA 52404
P. 319-841-1944

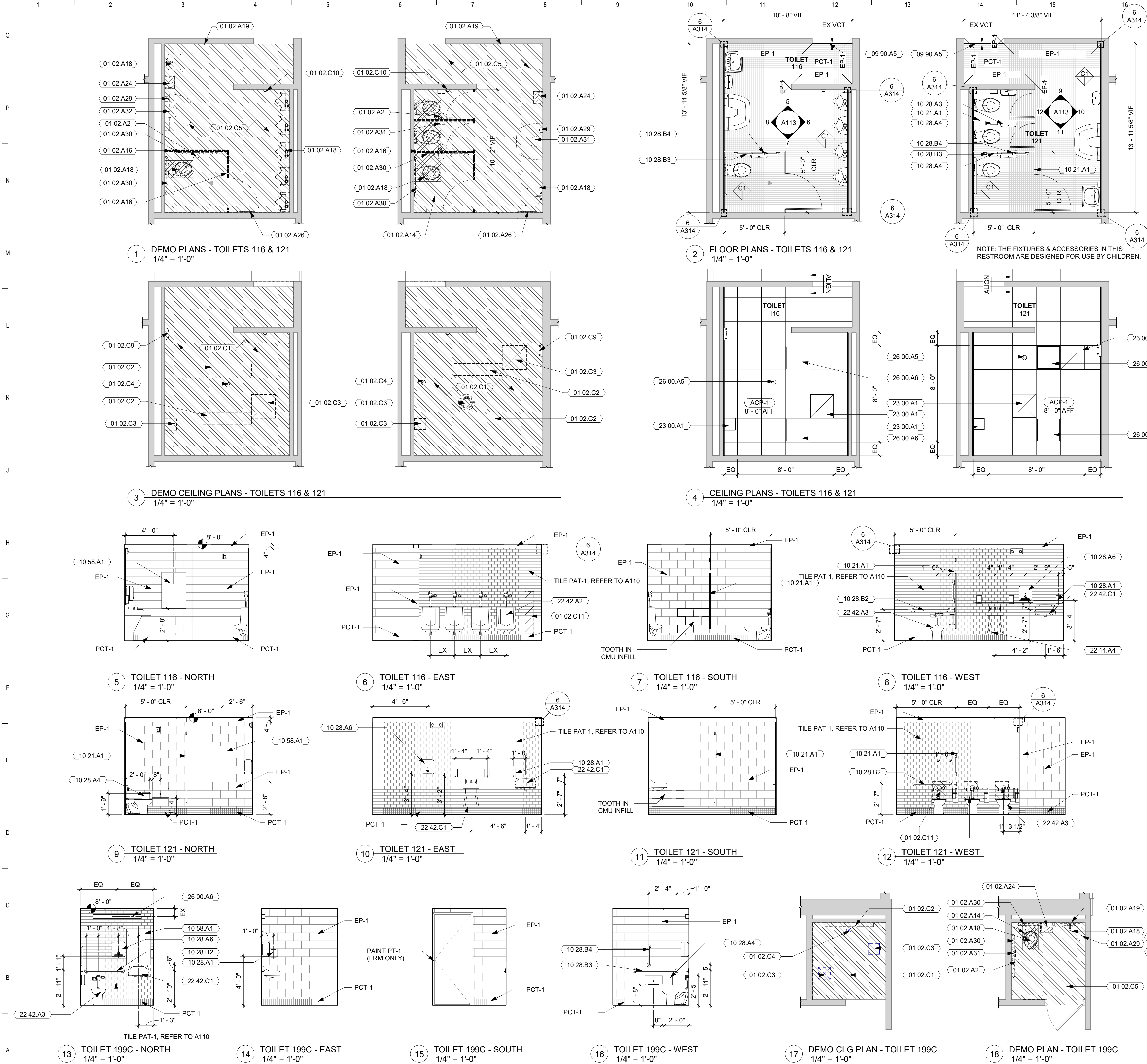
Key Plan

Sheet Issue Date
95% Construction Documents
2/1/2016

Revision
Date

PRELIMINARY. NOT FOR CONSTRUCTION.

Drawing
PLANS & ELEVATIONS
BOWMAN WOODS ELEMENTARY
CEDAR RAPIDS, IA
OPN Project No. 17274000



- GENERAL NOTES**

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 - PROVIDE CONCEALED WOOD BLOCKING AT ALL ACCESSORIES IN FRAMED WALLS. EXTEND BLOCKING A MINIMUM OF 8" BEYOND EACH END AND 6" ABOVE AND BELOW ALL ACCESSORY ITEMS.
 - PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.
 - CEILING-MOUNTED FIXTURES SPRINKLERS AND EQUIPMENT SHALL BE CENTERED IN CEILING PANELS OR GYPSUM BOARD SOFFITS AND EQUALLY SPACED UNLESS NOTED OTHERWISE.
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- KEYNOTE LEGEND**

01 02.A2	REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH.
01 02.A14	POTENTIAL AREA OF SLAB TO BE REMOVED FOR NEW PLUMBING WORK. COORDINATE WITH MEP. INFILL W/ NEW CONCRETE TO MATCH, PREPARE SURFACE FOR NEW FLOOR FINISH.
01 02.A16	REMOVE EXISTING TOILET PARTITIONS COMPLETE.
01 02.A18	REMOVE EXISTING PLUMBING FIXTURE. REFER TO MEP DRAWINGS.
01 02.A19	REMOVE EXISTING MIRROR. PATCH & REPAIR WALL. PREP FOR NEW FINISH.
01 02.A24	REMOVE EXISTING PAPER TOWEL DISPENSER. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A26	EXISTING WALL HEATER TO BE REMOVED BY OWNER. CONTRACTOR TO PATCH & REPAIR ADJACENT SURFACES TO RECEIVE NEW FINISHES. COORDINATE PAINTING OF INFILL.
01 02.A29	REMOVE EXISTING SOAP DISPENSER COMPLETE. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A30	REMOVE EXISTING GRAB BAR COMPLETE. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A31	REMOVE EXISTING SANITARY NAPKIN DISPOSAL COMPLETE. PATCH & REPAIR WALL. PREP FOR NEW FINISH.
01 02.A32	REMOVE AND REINSTALL EXISTING PLUMBING FIXTURE. REFER TO PLUMBING.
01 02.C1	REMOVE EXISTING CEILING & SUPPORT SYSTEM.
01 02.C2	REMOVE EXISTING LIGHT FIXTURE. REFER TO MEP DRAWINGS.
01 02.C3	REMOVE EXISTING MECHANICAL DIFFUSER. REFER TO MEP DRAWINGS.
01 02.C4	REMOVE EXISTING CEILING MOUNTED OCCUPANCY SENSOR. REFER TO MEP DRAWINGS.
01 02.C5	REMOVE EXISTING TILE FLOOR FINISH AND WALL BASE. PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. REFER TO SPECIFICATIONS.
01 02.C9	REMOVE EXISTING EMERGENCY FIXTURE. REFER TO MEP DRAWINGS.
01 02.C10	REMOVE EXISTING FIRE STROBE. REFER TO MEP DRAWINGS.
01 02.C11	REMOVE WALL FOR PLUMBING. PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. COORDINATE WITH MEP.
09 90.A1	EP-1
09 90.A3	PCT-1
09 90.A4	TILE PAT-1, REFER TO A110
09 90.A5	TRANSITION STRIP. REFER TO SHEET A314
10 21.A1	SOLID PLASTIC TOILET PARTITION, REFER TO SPECIFICATIONS
10 28.A1	SOAP DISPENSER, OFCI
10 28.A3	TOILET TISSUE DISPENSER, OFCI
10 28.A4	WALL-MOUNTED SANITARY NAPKIN DISPOSAL, OFCI
10 28.A6	WALL-MOUNTED PAPER TOWEL DISPENSER, OFCI
10 28.B2	GRAB BAR - 36"
10 28.B3	GRAB BAR - 42"
10 28.B4	GRAB BAR - VERTICAL - 18"
10 58.A1	24"x36" FRAMELESS MIRROR
22 14.A4	REINSTALL EXISTING PLUMBING FIXTURE- REFER TO PLUMBING DRAWINGS
22 42.A2	WALL-MOUNTED URINAL. REFER TO MEP DRAWINGS
22 42.A3	FLOOR-MOUNTED TOILET. REFER TO MEP DRAWINGS
22 42.C1	WALL MOUNTED LAVATORY, REFER TO MEP DRAWINGS
23 00.A1	MECHANICAL DIFFUSER. REFER TO MEP DRAWINGS.
26 00.A5	OCCUPANT SENSOR. REFER TO MEP DRAWINGS.
26 00.A6	LIGHT FIXTURE. REFER TO MEP DRAWINGS.

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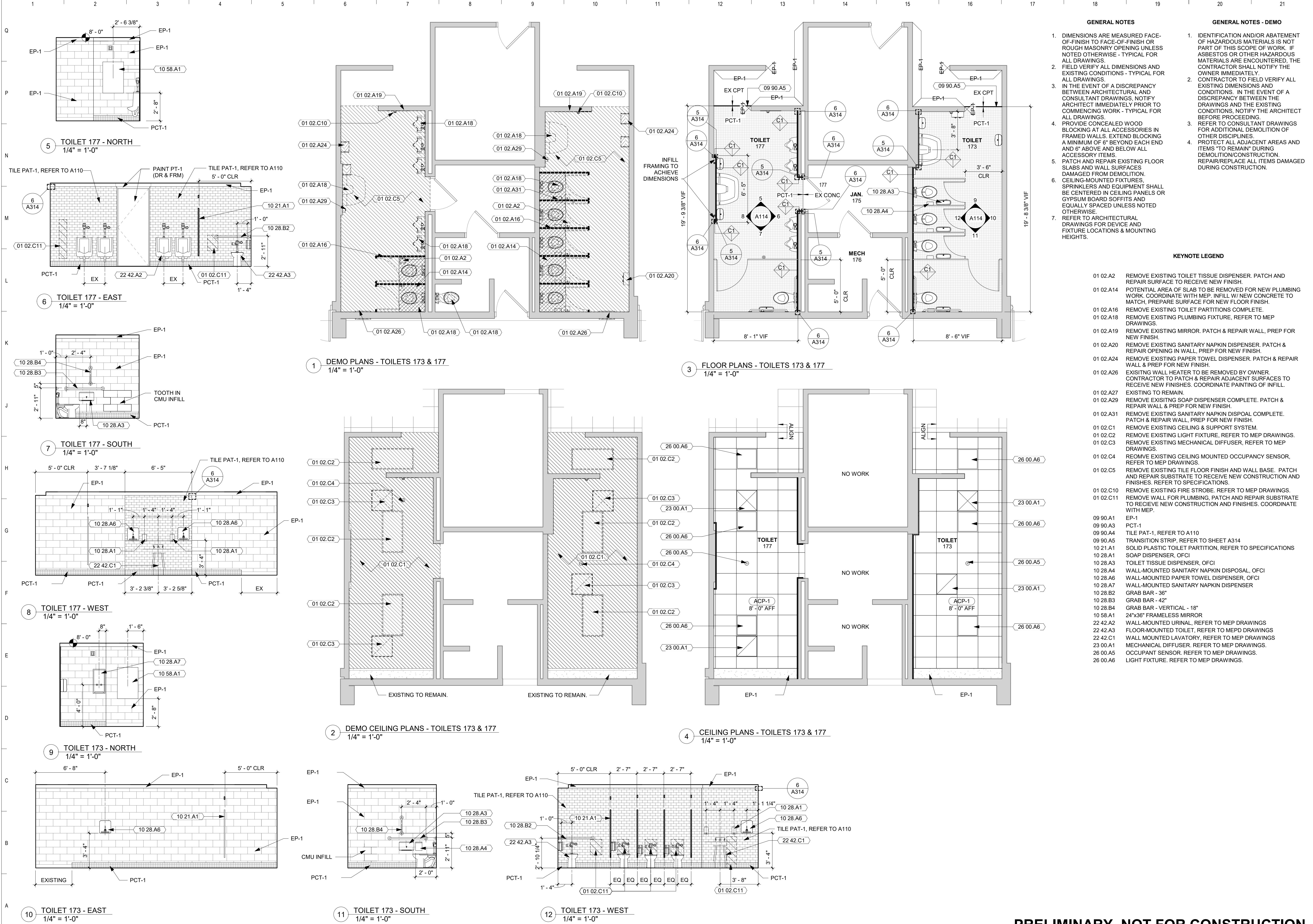
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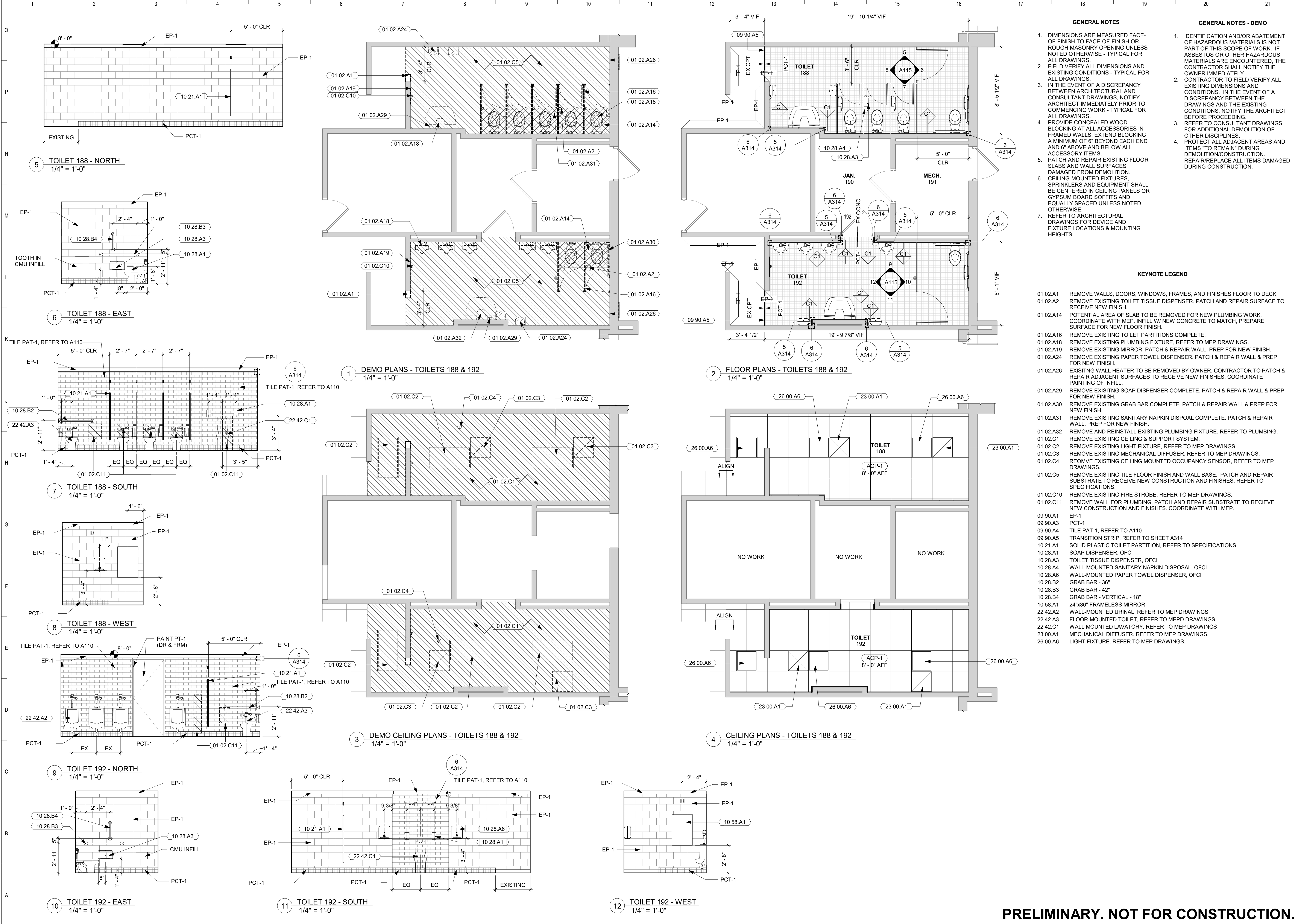
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Key Plan

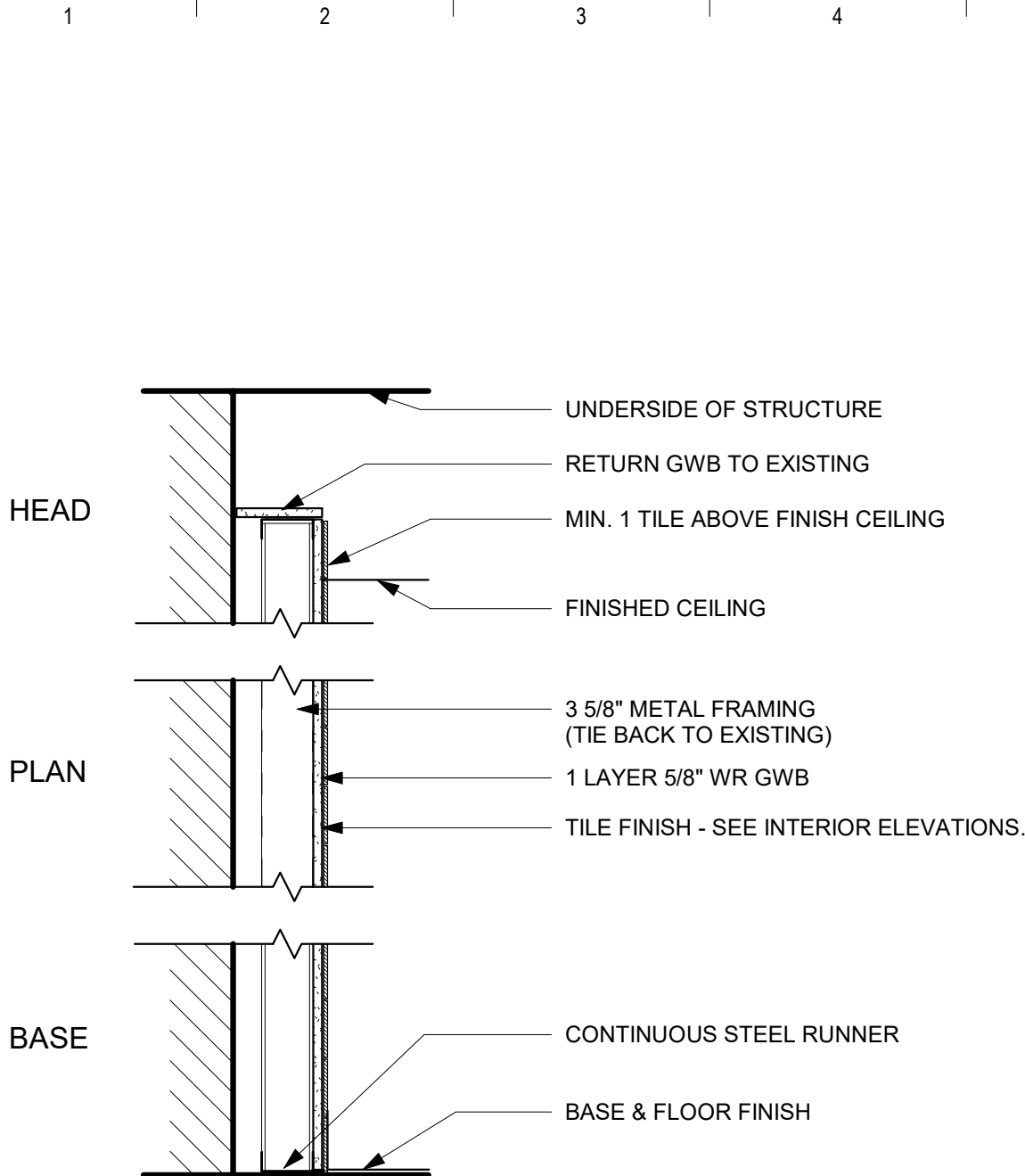
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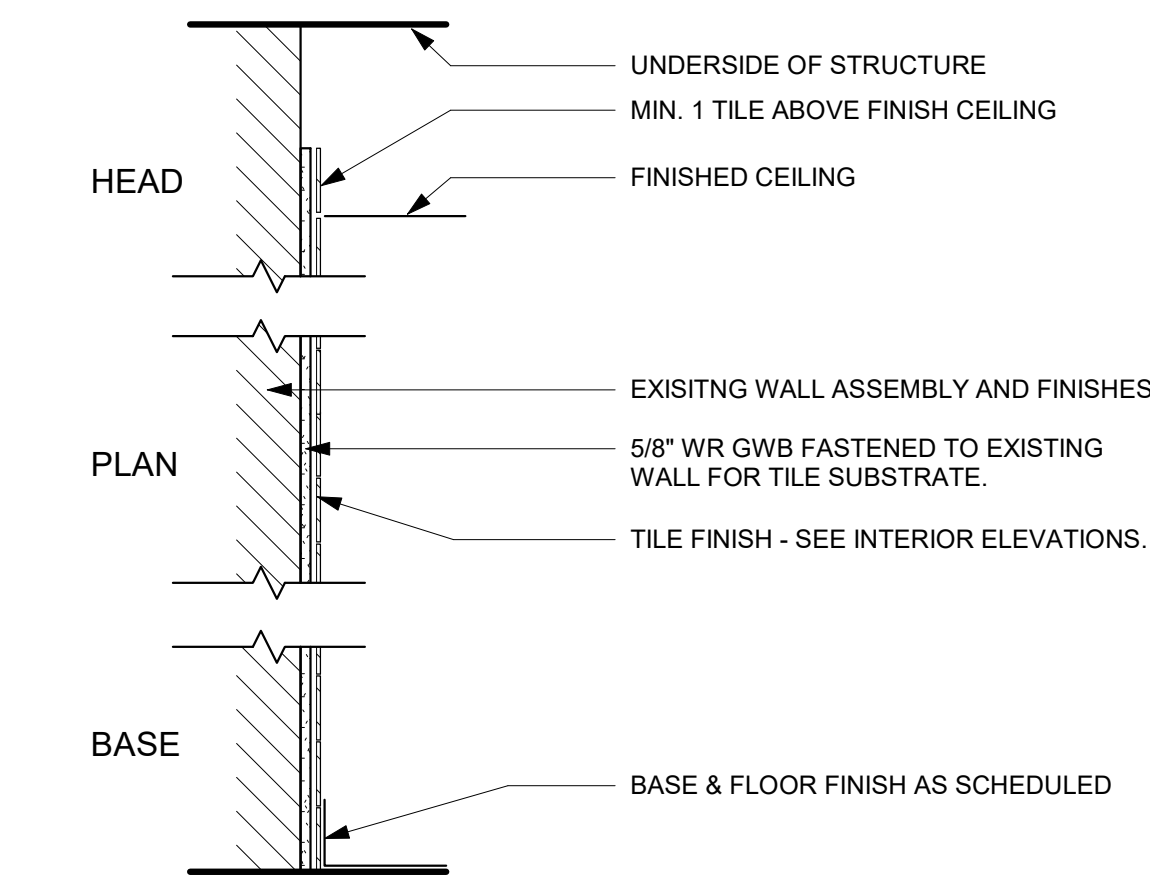
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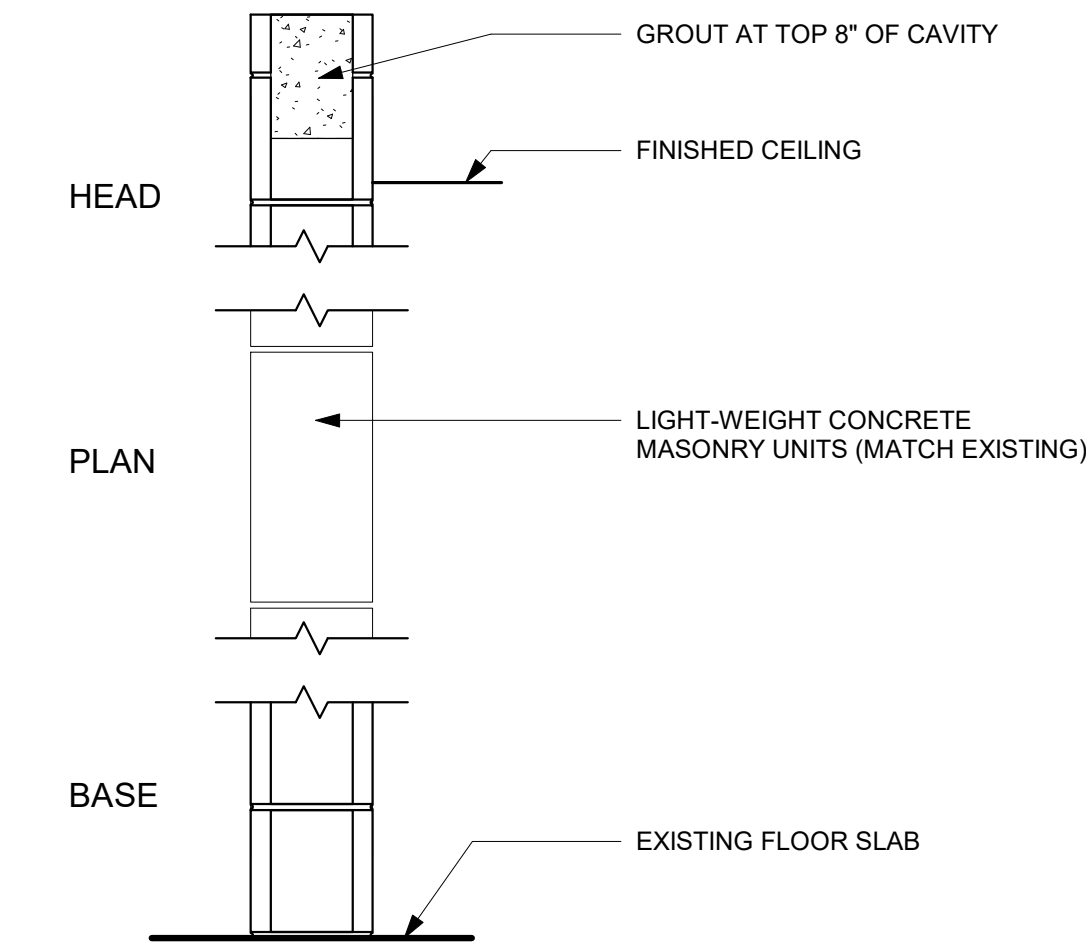
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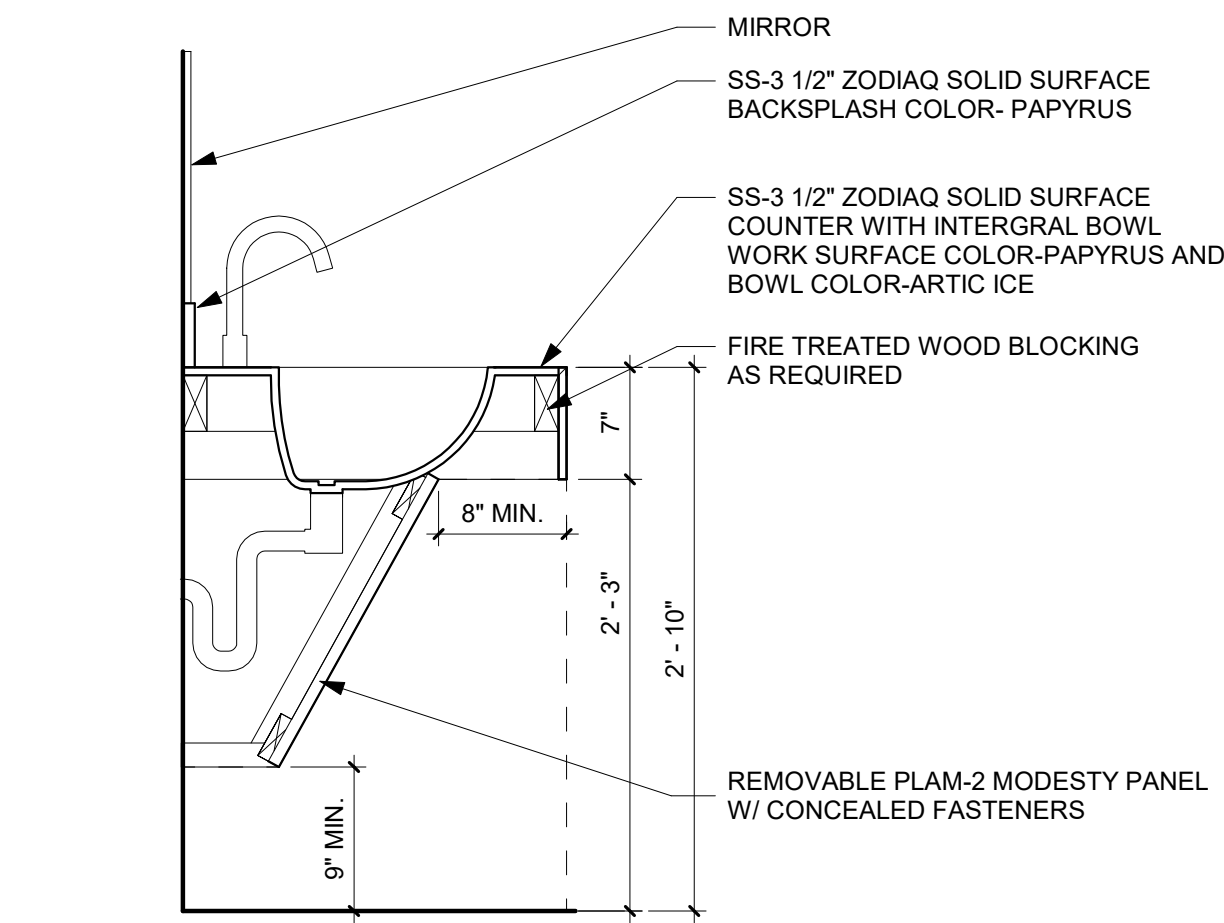
F4 STEEL FRAMED FURRING
NON RATED / NON-LOAD BEARING



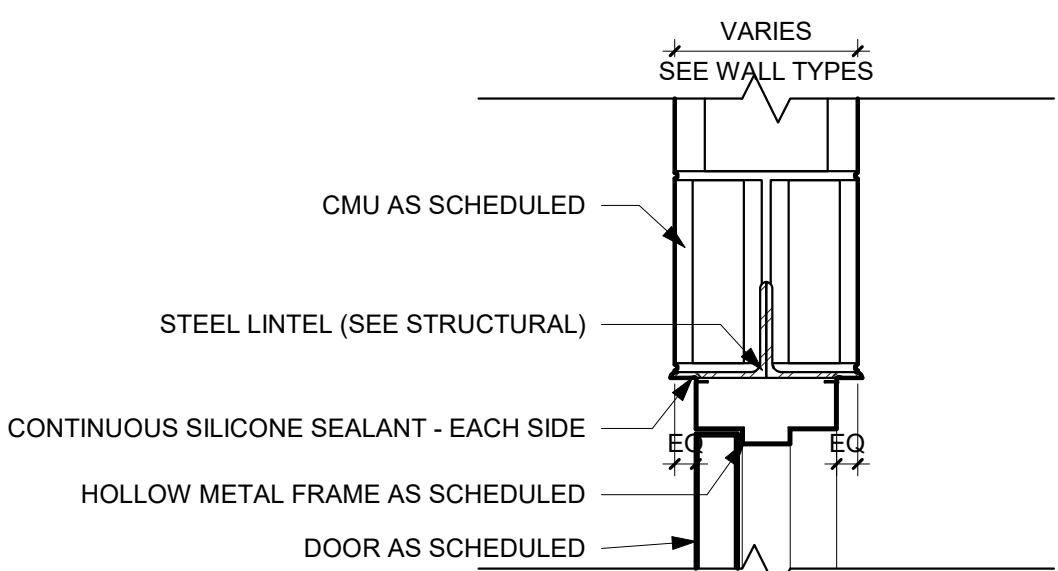
C1 OVERLAY TILE FINISH



M6 CMU PARTITION
NON RATED / NON-LOAD BEARING

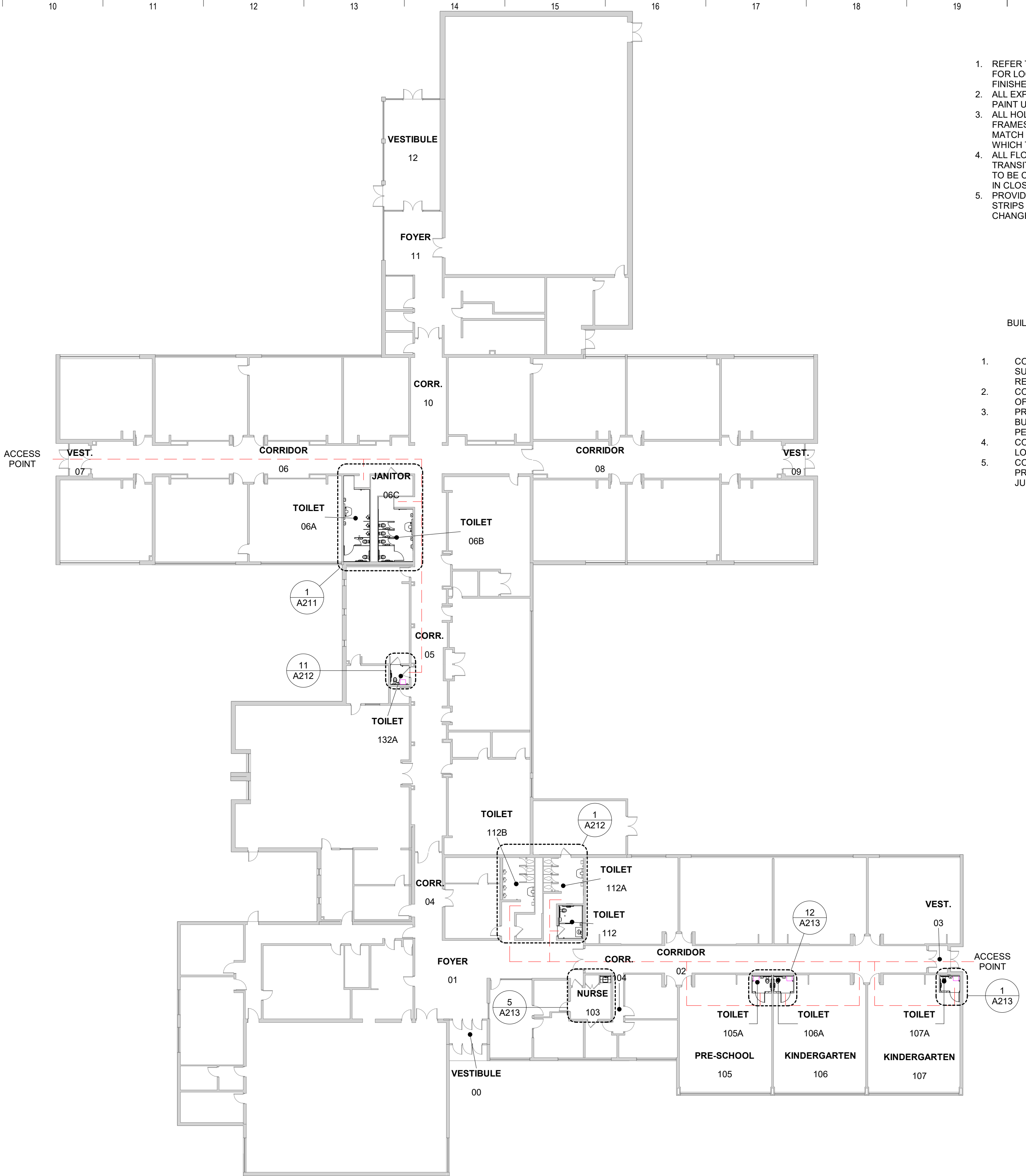


2 CASEWORK SECTION - INTEGRAL SINK - TYP.
1" = 1'-0"



3 GE - DOOR - H.M. FRAME HEAD @ CMU
1 1/2" = 1'-0"

1 LEVEL 1 FLOOR PLAN
3/64" = 1'-0"



DOOR SCHEDULE NOTES

1. PREPARE DOOR FRAMES FOR PAINT - BONDO FRAME DENTS AND SAND SCRATCHES SMOOTH.
2. PAINT EXISTING HOLLOW METAL DOORS AND FRAMES.
3. DOOR HARDWARE TO BE REPLACED ON EXISTING DOOR.
4. PAINT EXISTING HOLLOW METAL FRAME.

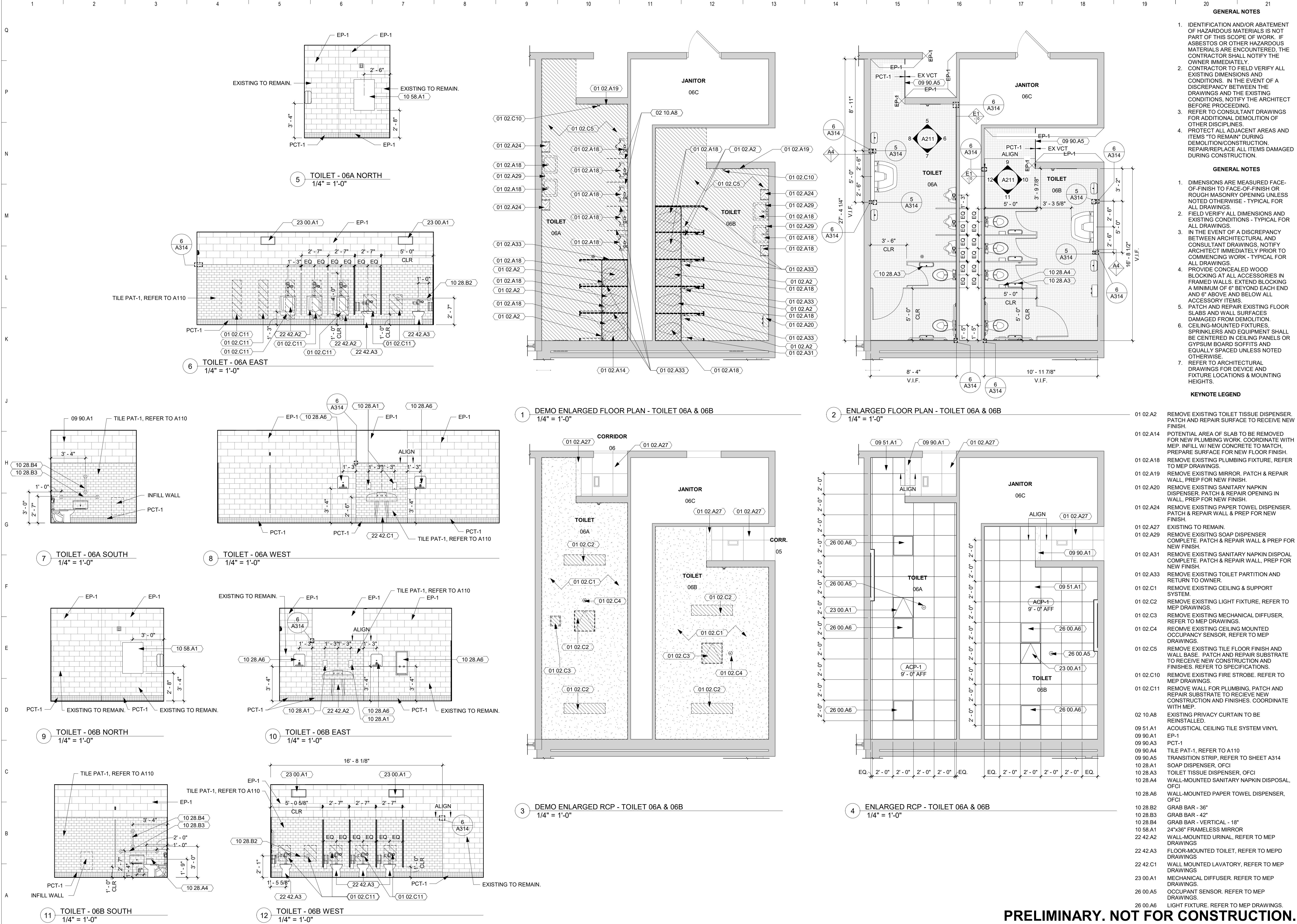
DOOR SCHEDULE									
DOOR NUMBER	TYPE	PANEL			FRAME		REMARKS	HARDWARE SET	
		WIDTH	HEIGHT	MATERIAL/ FINISH	MATERIAL	FINISH			
105A	F	3'-0"	7'-0"	WD STN	HM	PNT		1	
106A	F	3'-0"	7'-0"	WD STN	HM	PNT		1	
107A	F	3'-0"	7'-0"	WD STN	HM	PNT		1	
112	EX	3'-0"	6'-9"	EX EX	EX	PNT	1,4		
132A.1	EX	3'-0"	6'-9"	EX EX	EX	PNT	1,4		
132A.2	EX	3'-0"	6'-9"	EX EX	EX	PNT	1,4		

GENERAL NOTES

1. REFER TO PLANS AND ELEVATIONS FOR LOCATION AND EXTENT OF FINISHES.
2. ALL EXPOSED DRYWALL TO RECEIVE PAINT UNLESS NOTED OTHERWISE.
3. ALL HOLLOW METAL DOORS AND FRAMES NOTED TO BE PAINTED TO MATCH THE COLOR OF THE WALL IN WHICH THEY OCCUR U.N.O.
4. ALL FLOORING MATERIAL TRANSITIONS AND TERMINATIONS ARE TO BE CENTERED UNDER DOOR LEAFS IN CLOSED POSITION U.N.O.
5. PROVIDE FLOORING TRANSITION STRIPS AT FLOOR MATERIAL CHANGES.

BUILDING ACCESS LIMITATIONS

1. COVER ALL TRAVEL FLOOR SURFACES AND WALLS WITH RESIN PAPER.
2. COORDINATE UTILITY SHUT-OFFS WITH OWNER.
3. PROVIDE OWN FACILITIES. BUILDING FACILITIES ARE NOT PERMITTED FOR USE.
4. COORDINATE WASTE REMOVAL LOCATION WITH OWNER.
5. COORDINATE ELECTRICAL PROJECT W/ OWNER THROUGH JULY16-27.



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INDIAN CREEK ELEMENTARY
MARION, IA

OPN Project No. 17274000

A211



GENERAL NOTES

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- CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION OF OTHER DISCIPLINES.
- PROTECT ALL ADJACENT AREAS AND ITEMS "TO REMAIN" DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.

GENERAL NOTES

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- PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.
- CEILING-MOUNTED FIXTURES, SPRINKLERS AND EQUIPMENT SHALL BE CENTERED IN CEILING PANELS OR GYPSUM BOARD SOFFITS AND EQUALLY SPACED UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR DEVICE AND FIXTURE LOCATIONS & MOUNTING HEIGHTS.

KEYNOTE LEGEND

01 02.A2	REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH.
01 02.A4	REMOVE EXISTING CASEWORK.
01 02.A8	REMOVE EXISTING PLUMBING FIXTURE AND RETURN TO OWNER.
01 02.A18	REMOVE EXISTING PLUMBING FIXTURE, REFER TO MEP DRAWINGS.
01 02.A19	REMOVE EXISTING MIRROR. PATCH & REPAIR WALL. PREP FOR NEW FINISH.
01 02.A20	REMOVE EXISTING SANITARY NAPKIN DISPENSER. PATCH & REPAIR OPENING IN WALL. PREP FOR NEW FINISH.
01 02.A24	REMOVE EXISTING PAPER TOWEL DISPENSER. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A27	EXISTING TO REMAIN.
01 02.A29	REMOVE EXISTING SOAP DISPENSER COMPLETE. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A30	REMOVE EXISTING GRAB BAR COMPLETE. PATCH & REPAIR WALL & PREP FOR NEW FINISH.
01 02.A31	REMOVE EXISTING SANITARY NAPKIN DISPOSAL COMPLETE. PATCH & REPAIR WALL. PREP FOR NEW FINISH.
01 02.C1	REMOVE EXISTING CEILING & SUPPORT SYSTEM.
01 02.C2	REMOVE EXISTING LIGHT FIXTURE, REFER TO MEP DRAWINGS.
01 02.C3	REMOVE EXISTING MECHANICAL DIFFUSER, REFER TO MEP DRAWINGS.
01 02.C4	REMOVE EXISTING CEILING MOUNTED OCCUPANCY SENSOR, REFER TO MEP DRAWINGS.
01 02.C5	REMOVE EXISTING TILE FLOOR FINISH AND WALL BASE. PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. REFER TO SPECIFICATIONS.
01 02.C11	REMOVE WALL FOR PLUMBING, PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. COORDINATE WITH MEP.
02 10.A8	EXISTING PRIVACY CURTAIN TO BE REINSTALLED.
09 51.A1	ACOUSTICAL CEILING TILE SYSTEM VINYL
09 51.A4	SOLID SURFACE PANEL, REFER TO FINISHES AND SPECIFICATIONS.
09 90.A1	EP-1
09 90.A3	PCT-1
09 90.A5	TRANSITION STRIP, REFER TO SHEET A314
09 90.A10	PCT-2
10 28.A1	SOAP DISPENSER, OFCI
10 28.A3	TOILET TISSUE DISPENSER, OFCI
10 28.A4	WALL-MOUNTED SANITARY NAPKIN DISPOSAL, OFCI
10 28.A6	WALL-MOUNTED PAPER TOWEL DISPENSER, OFCI
10 28.A7	WALL-MOUNTED SANITARY NAPKIN DISPENSER
10 28.B2	GRAB BAR - 36"
10 28.B3	GRAB BAR - 42"
10 28.B4	GRAB BAR - VERTICAL - 18"
10 58.A1	24"x36" FRAMELESS MIRROR
22 42.A3	FLOOR-MOUNTED TOILET, REFER TO MEPD DRAWINGS
22 42.C1	WALL MOUNTED LAVATORY, REFER TO MEP DRAWINGS
22 42.C2	UNDER MOUNT SINK
23 00.A1	MECHANICAL DIFFUSER. REFER TO MEP DRAWINGS.
26 00.A5	OCCUPANT SENSOR. REFER TO MEP DRAWINGS.
26 00.A6	LIGHT FIXTURE. REFER TO MEP DRAWINGS.

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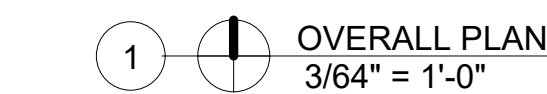
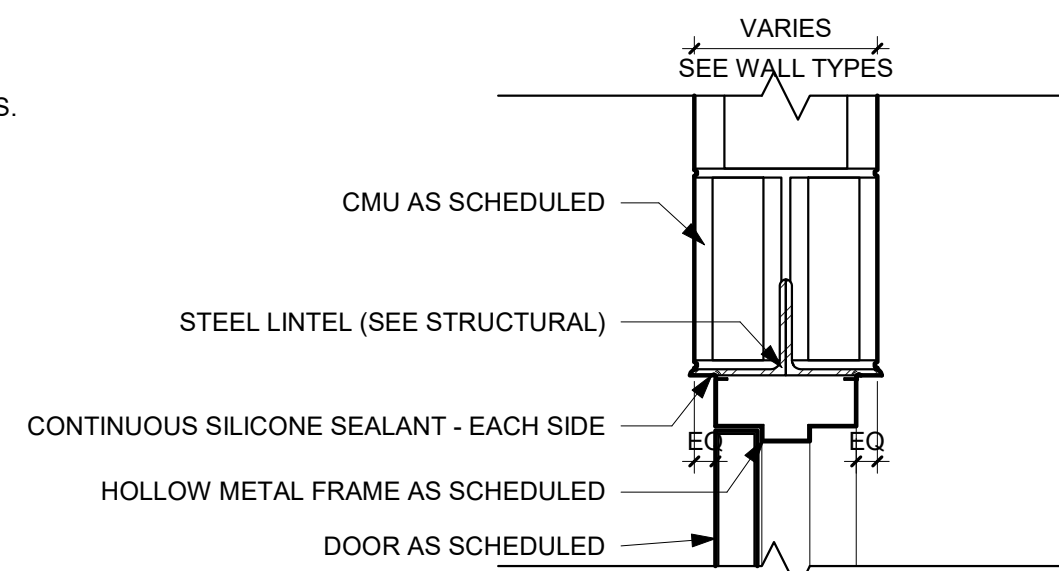
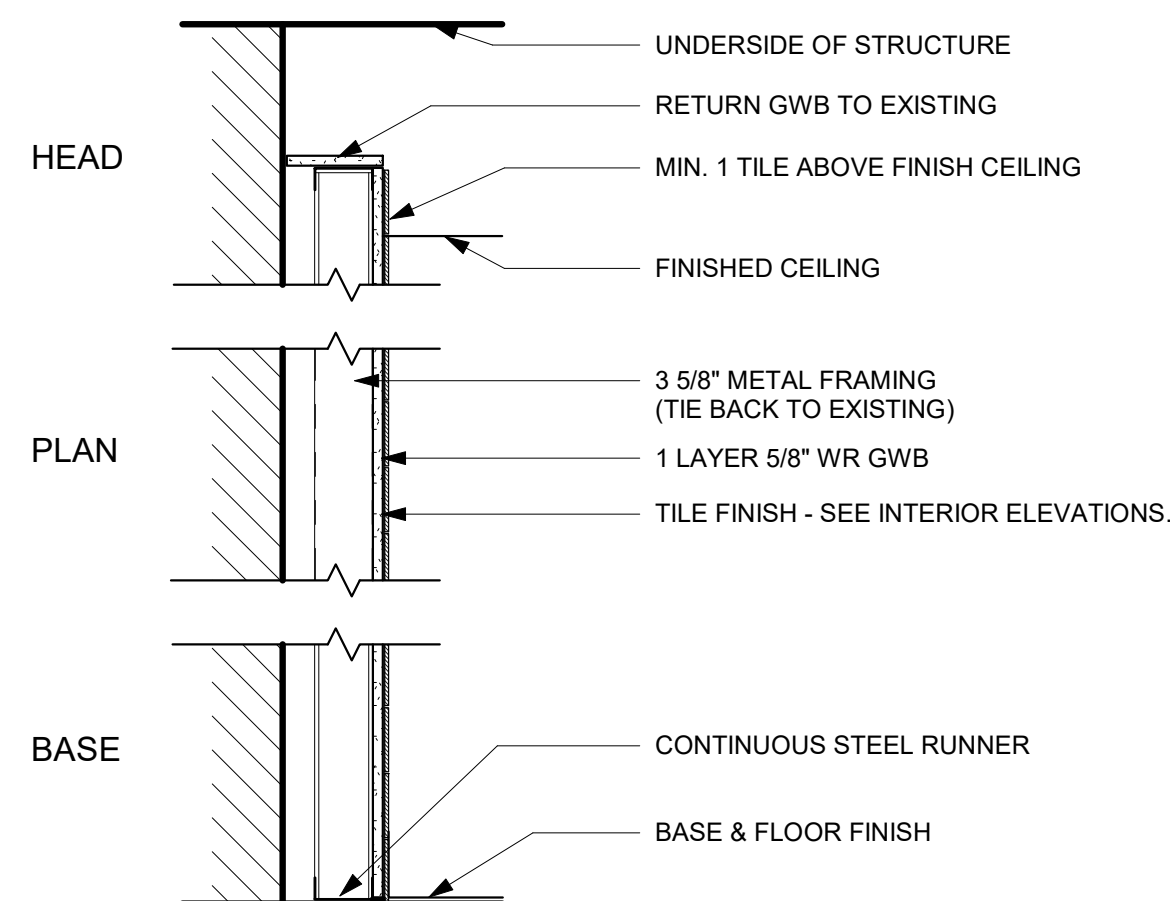
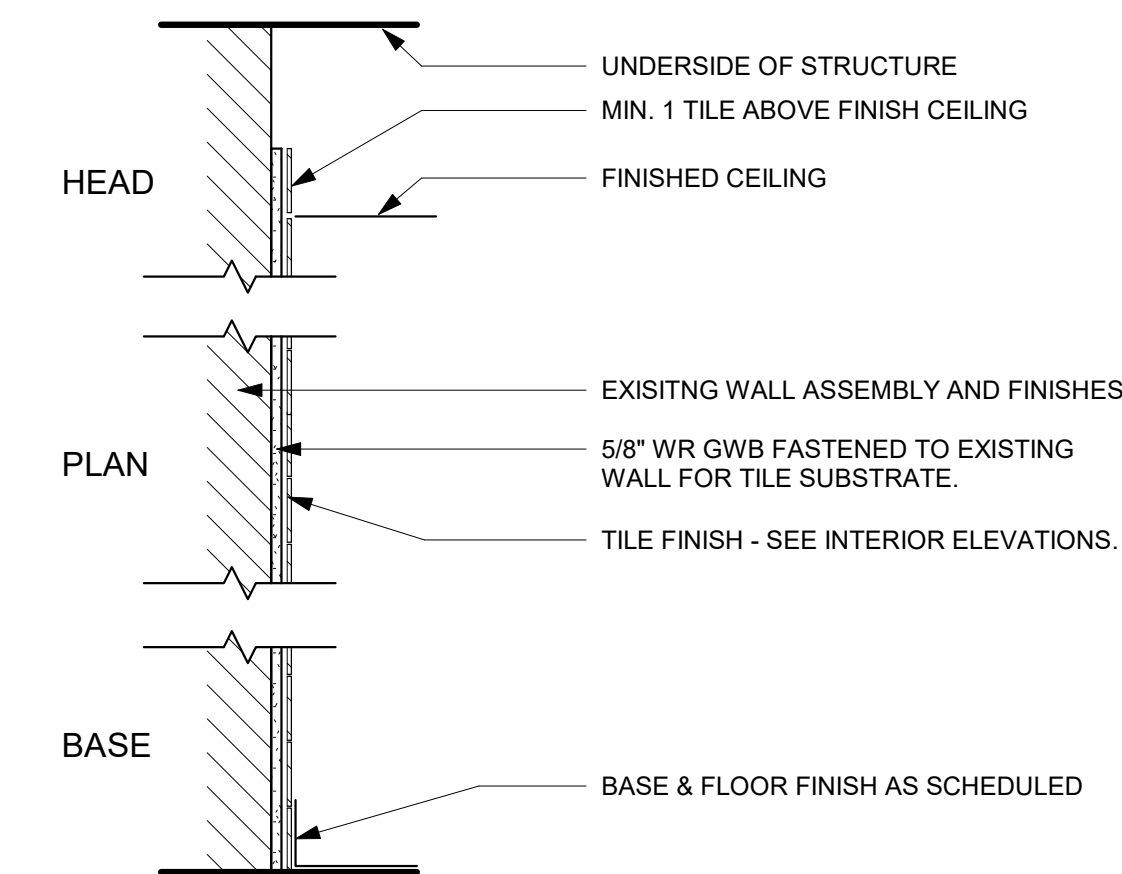
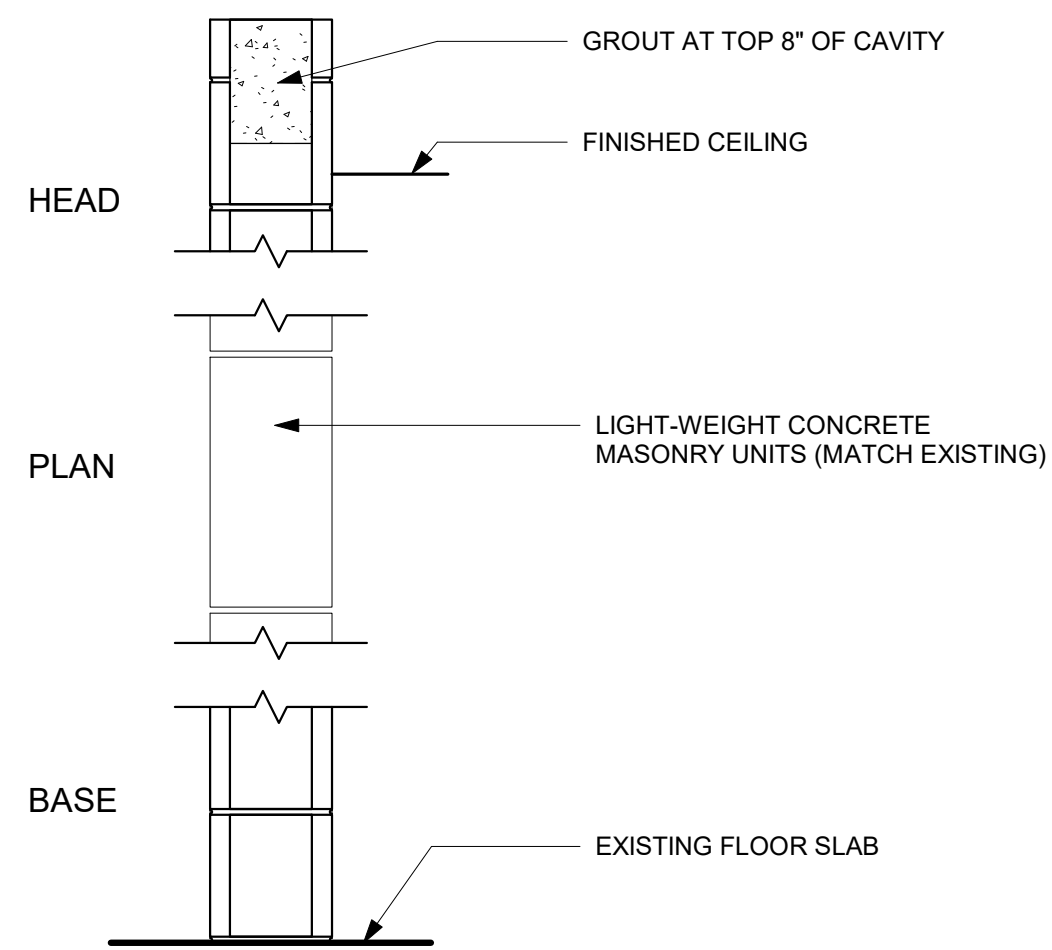
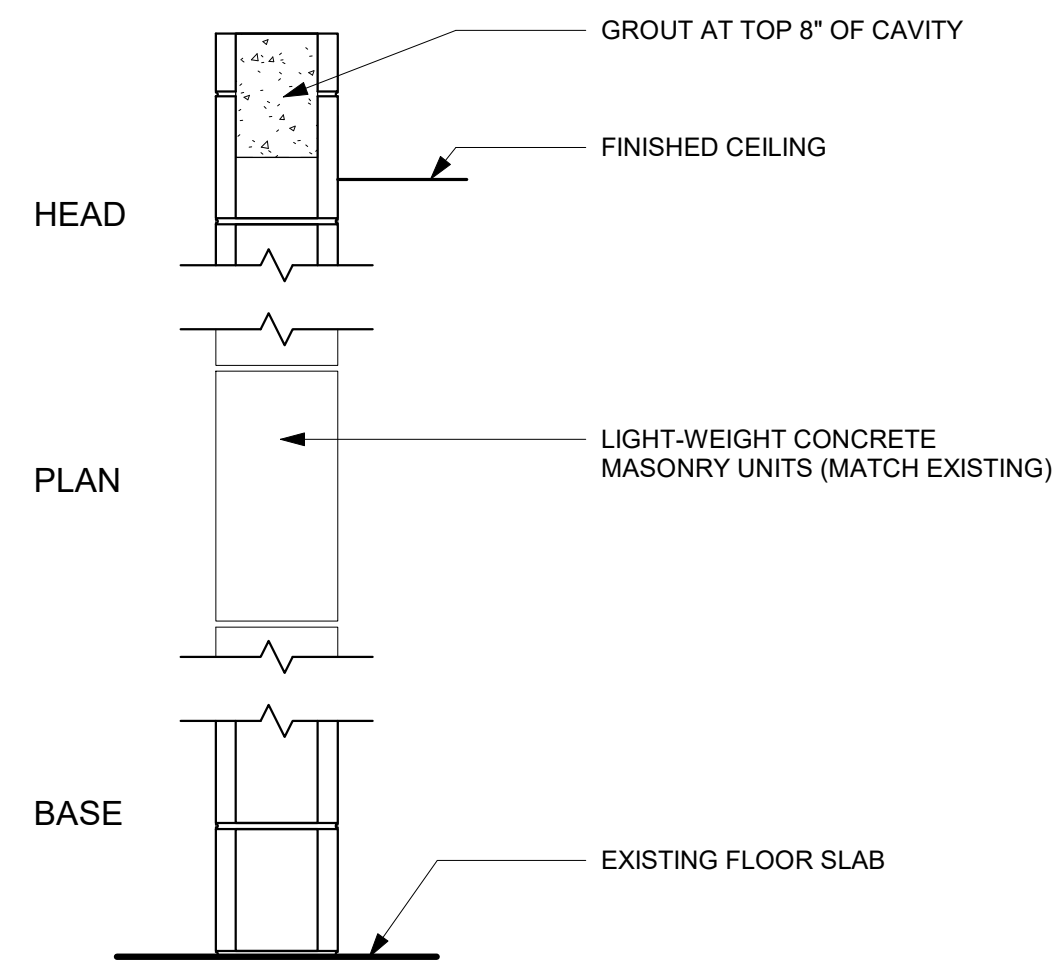
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- PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.
- CEILING-MOUNTED FIXTURES, SPRINKLERS AND EQUIPMENT SHALL BE CENTERED IN CEILING PANELS OR GYPSUM BOARD SOFFITS AND EQUALLY SPACED UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR DEVICE AND FIXTURE LOCATIONS & MOUNTING HEIGHTS.

KEYNOTE LEGEND

- | | |
|-----------|---|
| 01 02 A1 | REMOVE WALLS, DOORS, WINDOWS, FRAMES, AND FINISHES FLOOR TO DECK |
| 01 02 A2 | REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH. |
| 01 02 A9 | REMOVE EXISTING DOOR ASSEMBLY. |
| 01 02 A14 | POTENTIAL AREA OF SLAB TO BE REMOVED FOR NEW PLUMBING WORK. COORDINATE WITH MEP. INFILL W/ NEW CONCRETE TO MATCH, PREPARE SURFACE FOR NEW FLOOR FINISH. |
| 01 02 A18 | REMOVE EXISTING PLUMBING FIXTURE, REFER TO MEP DRAWINGS. |
| 01 02 C1 | REMOVE EXISTING CEILING & SUPPORT SYSTEM. |
| 01 02 C2 | REMOVE EXISTING LIGHT FIXTURE, REFER TO MEP DRAWINGS. |
| 01 02 C3 | REMOVE EXISTING MECHANICAL DIFFUSER, REFER TO MEP DRAWINGS. |
| 01 02 C4 | REMOVE EXISTING CEILING MOUNTED OCCUPANCY SENSOR, REFER TO MEP DRAWINGS. |
| 01 02 C5 | REMOVE EXISTING TILE FLOOR FINISH AND WALL BASE. PATCH AND REPAIR SUBSTRATE TO RECEIVE NEW CONSTRUCTION AND FINISHES. REFER TO SPECIFICATIONS. |
| 09 51 A1 | ACOUSTICAL CEILING TILE SYSTEM VINYL |
| 09 90 A1 | EP-1 |
| 09 90 A2 | PT-2 |
| 09 90 A3 | PCT-1 |
| 09 90 A4 | TILE PAT-1, REFER TO A110 |
| 09 90 A5 | TRANSITION STRIP, REFER TO SHEET A314 |
| 10 28 A1 | SOAP DISPENSER, OFCI |
| 10 28 A3 | TOILET TISSUE DISPENSER, OFCI |
| 10 28 A6 | WALL MOUNTED PAPER TOWEL DISPENSER, OFCI |
| 10 28 B2 | GRAB BAR - 36" |
| 10 28 B3 | GRAB BAR - 42" |
| 10 28 B4 | GRAB BAR - VERTICAL - 18" |
| 10 58 A1 | 24"x36" FRAMELESS MIRROR |
| 22 42 A3 | FLOOR-MOUNTED TOILET, REFER TO MEPD DRAWINGS |
| 22 42 C1 | WALL MOUNTED LAVATORY, REFER TO MEP DRAWINGS |
| 22 42 C3 | COUNTER MOUNT SINK. REFER TO MEP DRAWINGS |
| 23 00 A1 | MECHANICAL DIFFUSER. REFER TO MEP DRAWINGS. |
| 26 00 A5 | OCCUPANT SENSOR. REFER TO MEP DRAWINGS. |
| 26 00 A6 | LIGHT FIXTURE. REFER TO MEP DRAWINGS. |

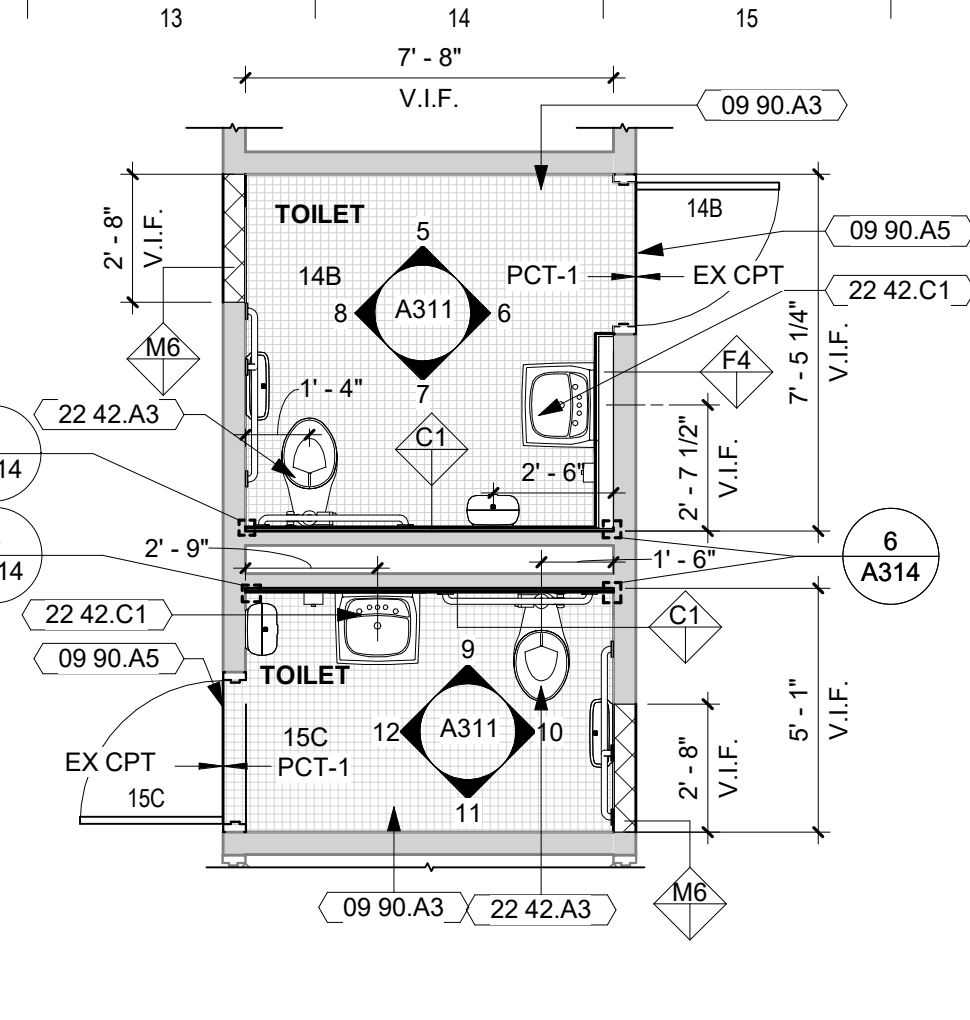
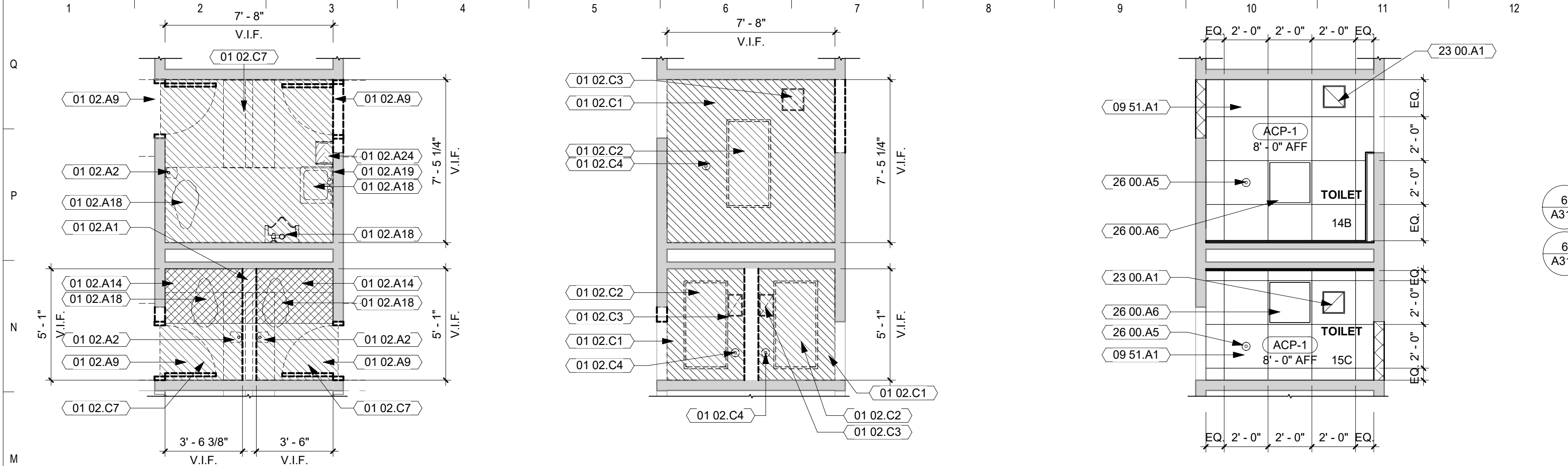


- ## GENERAL NOTES
1. REFER TO PLANS AND ELEVATIONS FOR LOCATION AND EXTENT OF FINISHES.
 2. ALL EXPOSED DRYWALL TO RECEIVE PAINT UNLESS NOTED OTHERWISE
 3. ALL HOLLOW METAL DOORS AND FRAMES NOTED TO BE PAINTED TO MATCH THE COLOR OF THE WALL IN WHICH THEY OCCUR U.N.O.
 4. ALL FLOORING MATERIAL TRANSITIONS AND TERMINATIONS ARE TO BE CENTERED UNDER DOOR LEADING TO CLOSED POSITION U.N.O.
 5. PROVIDE FLOORING TRANSITION STRIPS AT FLOOR MATERIAL CHANGES.

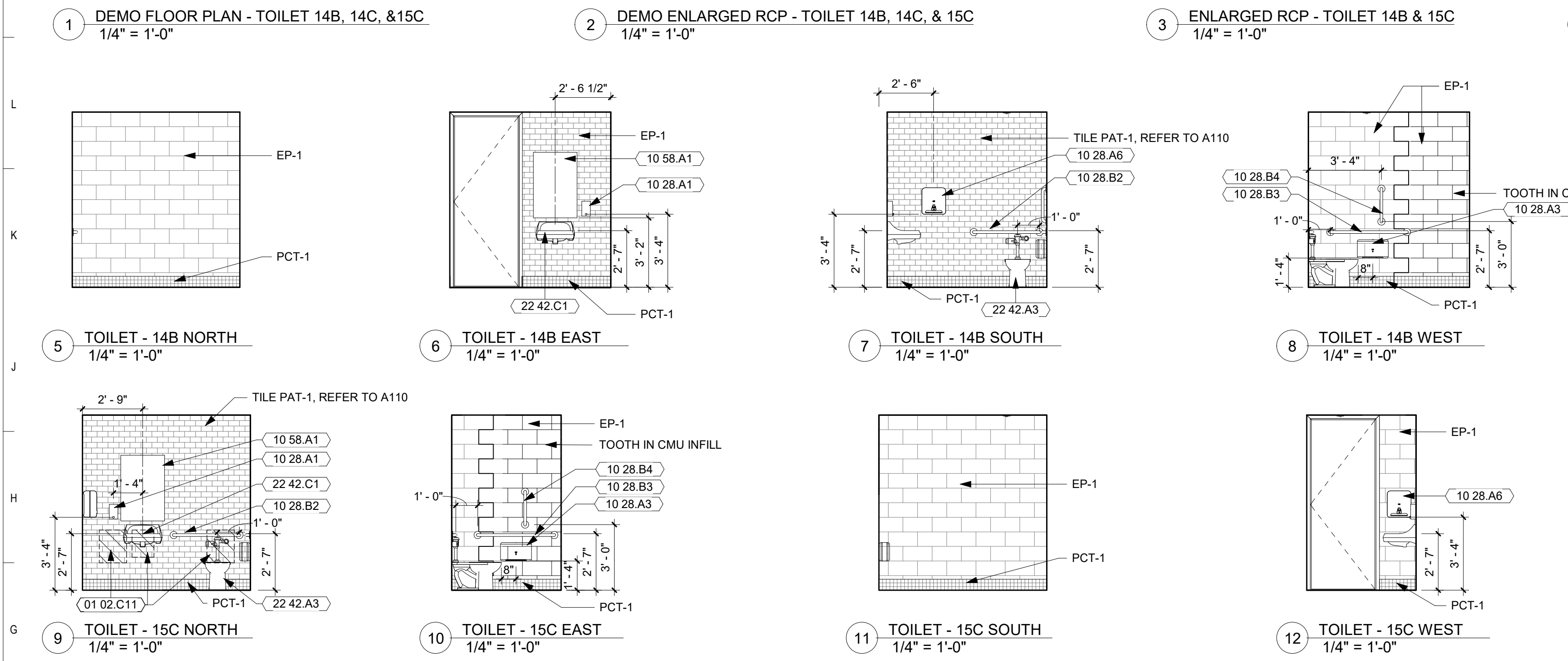
- ### BUILDING ACCESS LIMITATIONS
1. COVER ALL TRAVEL FLOOR SURFACES AND WALLS WITH RESIN PAPER.
 2. COORDINATE UTILITY SHUT-OFFS WITH OWNER.
 3. PROVIDE OWN FACILITIES, BUILDING FACILITIES ARE NOT PERMITTED FOR USE.
 4. COORDINATE WASTE REMOVAL LOCATION WITH OWNER.
 5. GYM WING IS A NO ACCESS AREA.

QC - Door Schedule									
DOOR NUMBER	PANEL					FRAME		REMARKS	HARDWARE SET
	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH		
14B	F	3' - 0"	7' - 10"	WD	STN	HM	PNT		2
15C	F	3' - 0"	7' - 10"	WD	STN	HM	PNT		2
29	EX	3' - 0"	8' - 0"	EX	EX	EX	PNT	1,2	
30	F	3' - 0"	8' - 0"	WD	PNT	HM	PNT		3
31.1	EX	3' - 0"	8' - 0"	EX	EX	EX	PNT	1,2	
31.2	EX	3' - 0"	8' - 0"	EX	EX	EX	PNT	1,2	
45	EX	3' - 0"	8' - 2"	EX	PNT	EX	PNT	1,2	

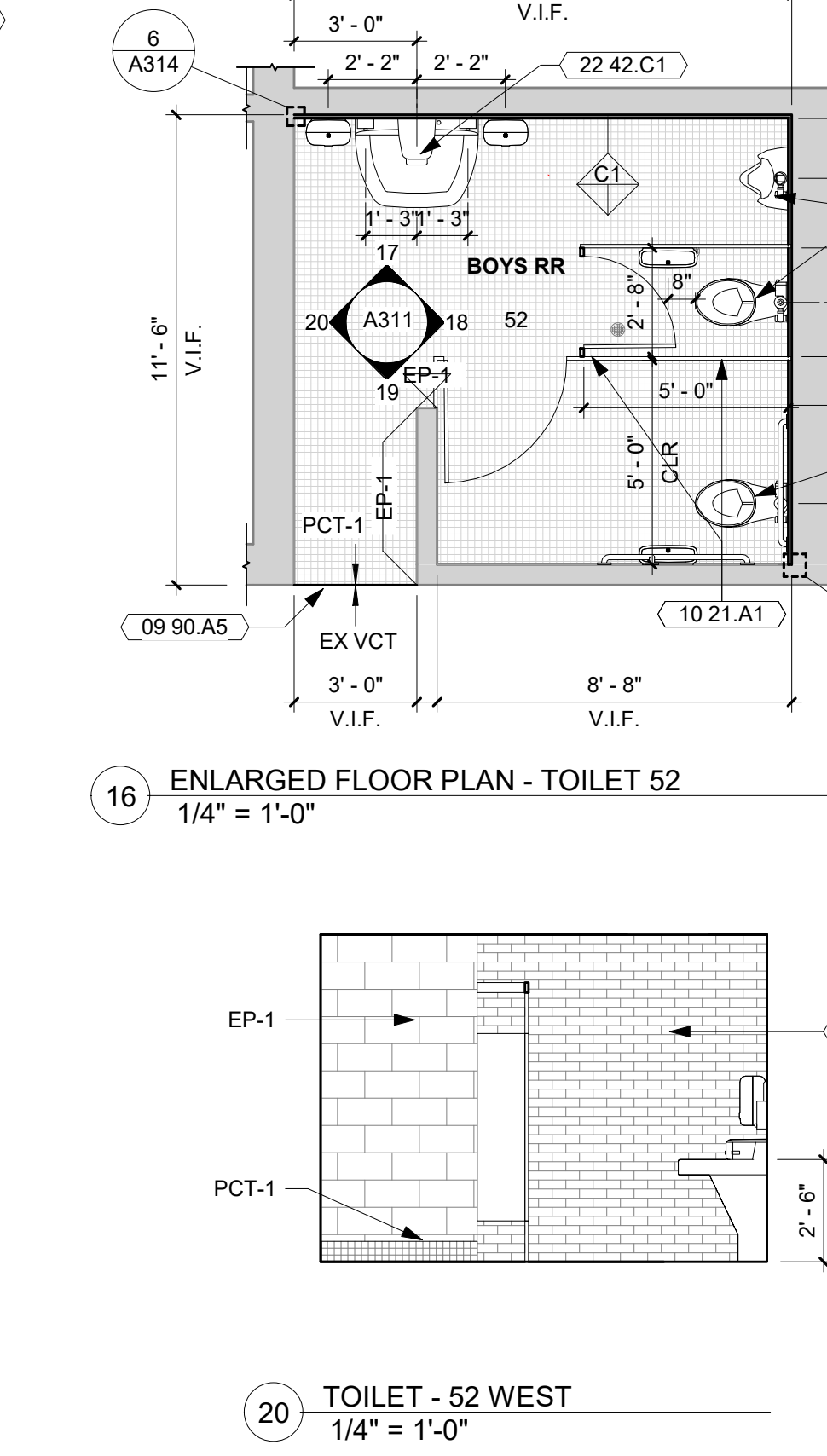
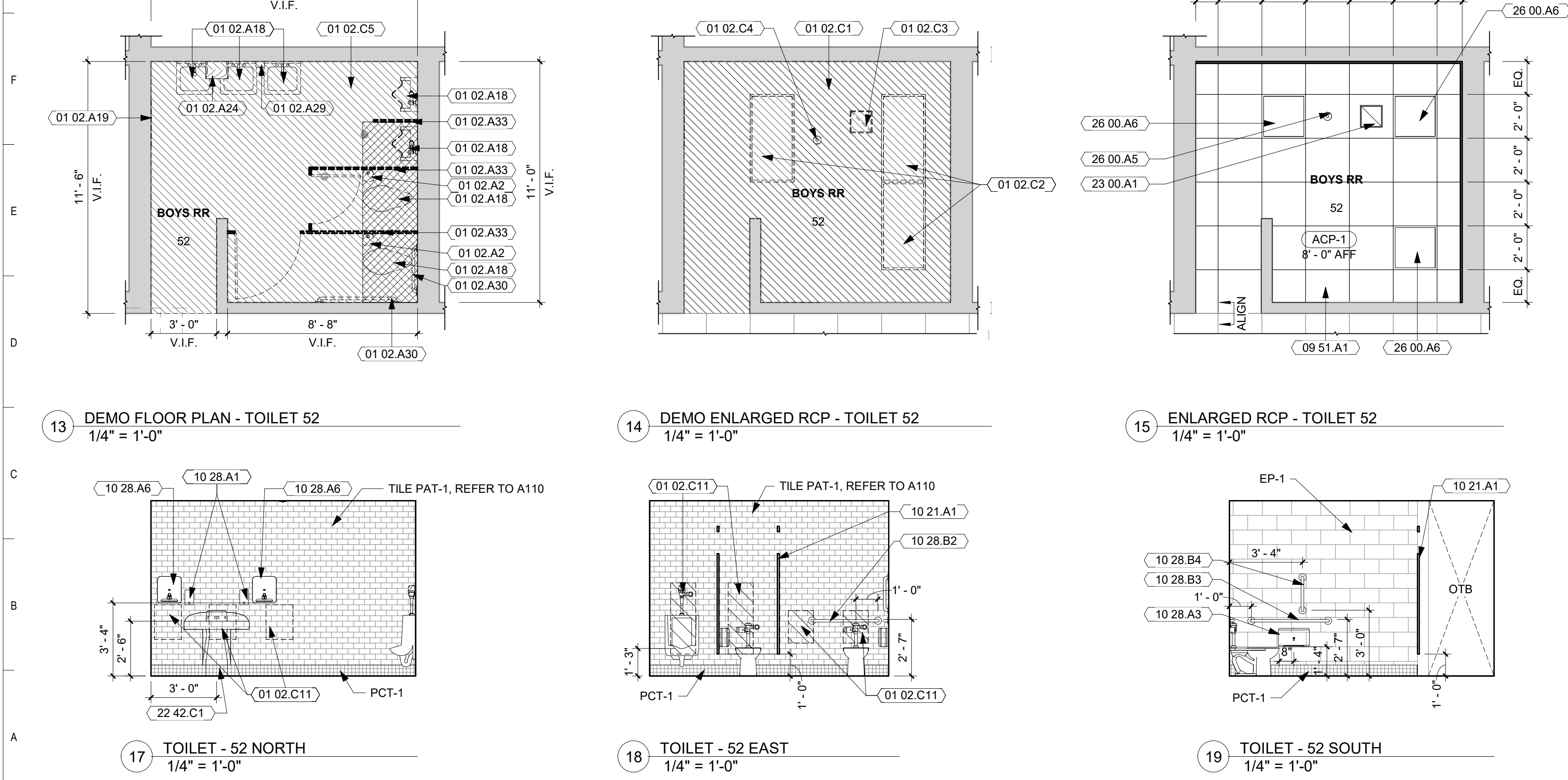
- ### DOOR SCHEDULE NOTES
1. PREPARE DOOR FRAMES FOR PAINT. BONDO FRAME DENTS AND SAND SCRATCHES SMOOTH.
 2. PAINT EXISTING HOLLOW METAL DOORS AND FRAMES.
 3. DOOR HARDWARE TO BE REPLACED ON EXISTING DOOR.
 4. PAINT EXISTING HOLLOW METAL FRAME.



- KEYNOTE LEGEND**
- 01 02.A1 REMOVE WALLS, DOORS, WINDOWS, FRAMES, AND FINISHES FLOOR TO DECK
 - 01 02.A2 REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH.
 - 01 02.A9 REMOVE EXISTING DOOR ASSEMBLY.
 - 01 02.A14 POTENTIAL AREA OF SLAB TO BE REMOVED FOR NEW PLUMBING WORK. COORDINATE WITH MEP. INFILL W/ NEW CONCRETE TO MATCH. PREPARE SURFACE FOR NEW FLOOR FINISH.
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 - 01 02.A33 REMOVE EXISTING TOILET PARTITION AND RETURN TO OWNER.
 - 01 02.C1 REMOVE EXISTING CEILING & SUPPORT SYSTEM.
 - 01 02.C2 REMOVE EXISTING LIGHT FIXTURE, REFER TO MEP DRAWINGS.
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 - 01 02.C4 REMOVE EXISTING CEILING MOUNTED OCCUPANCY SENSOR, REFER TO MEP DRAWINGS.
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 - 09 51.A1 ACOUSTICAL CEILING TILE SYSTEM VINYL
 - 09 90.A1 EP-1
 - 09 90.A3 PCT-1
 - 09 90.A4 TILE PAT-1, REFER TO A110
 - 09 90.A5 TRANSITION STRIP, REFER TO SHEET A314
 - 10 21.A1 SOLID PLASTIC TOILET PARTITION, REFER TO SPECIFICATIONS
 - 10 28.A1 SOAP DISPENSER, OFCI
 - 10 28.A3 TOILET TISSUE DISPENSER, OFCI
 - 10 28.A6 WALL-MOUNTED PAPER TOWEL DISPENSER, OFCI
 - 10 28.B2 GRAB BAR - 36"
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 - 10 28.B4 GRAB BAR - VERTICAL - 18"
 - 10 58.A1 24"x36" FRAMELESS MIRROR
 - 22 42.A2 WALL-MOUNTED URINAL, REFER TO MEP DRAWINGS
 - 22 42.A3 FLOOR-MOUNTED TOILET, REFER TO MEP DRAWINGS
 - 22 42.C1 WALL MOUNTED LAVATORY, REFER TO MEP DRAWINGS
 - 23 00.A1 MECHANICAL DIFFUSER, REFER TO MEP DRAWINGS.
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Owner
LINN-MAR COMMUNITY
SCHOOL DISTRICT

Project
ELEMENTARY RESTROOM
REMODELINGS

WILKINS ELEMENTARY MARION, IA

Mechanical Engineer

Design Engineers
8801 PRAIRIE VIEW LANE SW,
SUITE 200
CEDAR RAPIDS, IA 52404

P. 319-841-1944

Electrical Engineer

Design Engineers
8801 PRAIRIE VIEW LANE SW,
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Key Plan

Sheet Issue Date
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Documents

2/1/2016

Revision

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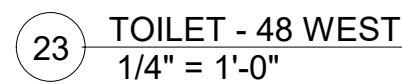
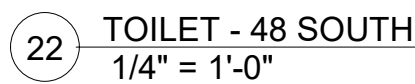
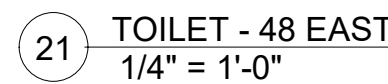
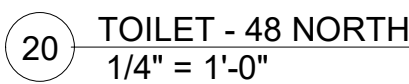
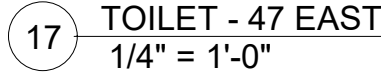
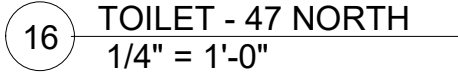
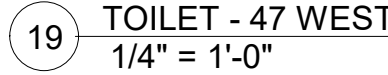
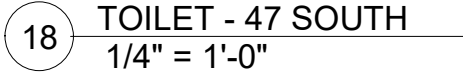
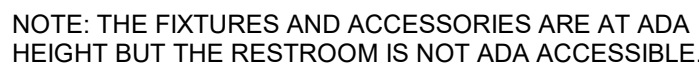
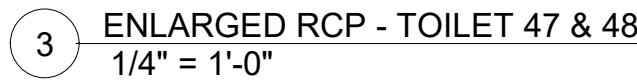
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Drawing
PLANS & ELEVATIONS

WILKINS ELEMENTARY MARION, IA

OPN Project No. 17274000

A311



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01 02.A2	REMOVE EXISTING TOILET TISSUE DISPENSER. PATCH AND REPAIR SURFACE TO RECEIVE NEW FINISH.
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WILKINS ELEMENTARY MARION, IA

Design Engineers

P. 319-841-1944

Electrical Engineer

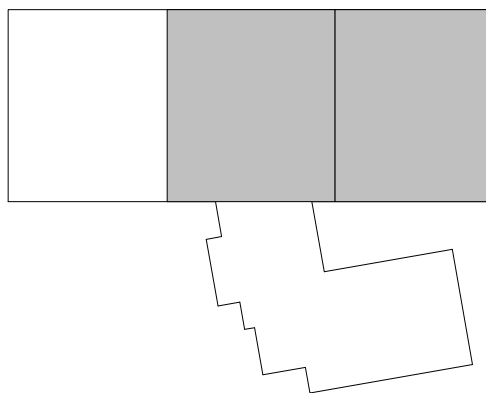
Design Engi

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Key Plan



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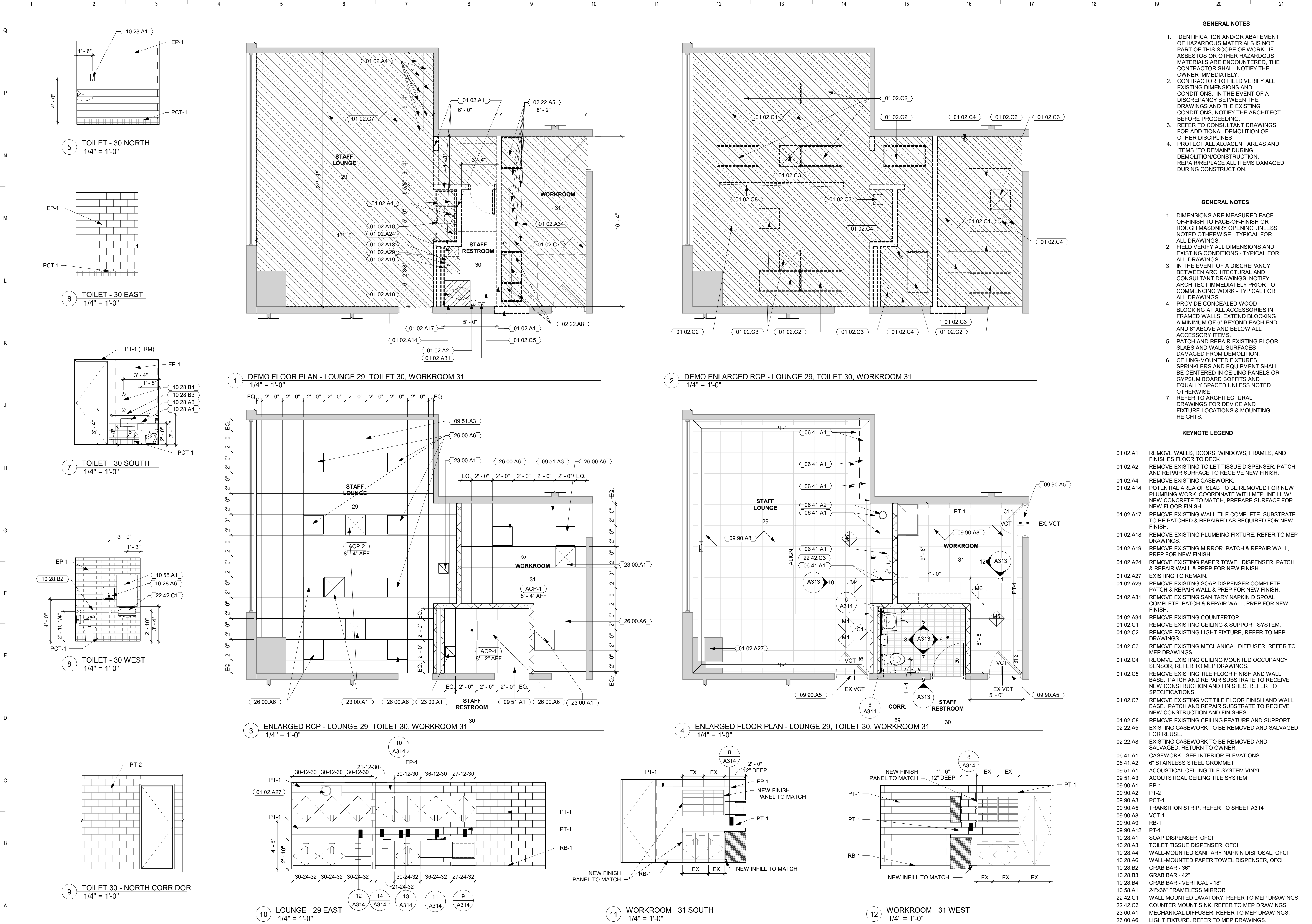
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Owner
LINN-MAR COMMUNITY
SCHOOL DISTRICT

Project
ELEMENTARY RESTROOM
REMODELINGS

WILKINS ELEMENTARY MARION, IA

Mechanical Engineer

Design Engineers
8801 PRAIRIE VIEW LANE SW,
SUITE 200
CEDAR RAPIDS, IA 52404
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Electrical Engineer

Design Engineers
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Key Plan

Sheet Issue Date
95% Construction
Documents

01/18/18

Revision

Date

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Plans & Elevations
WILKINS ELEMENTARY MARION, IA

OPN Project No. 17274000

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