
SECTION 00 1113

ADVERTISEMENT FOR BIDS

PROJECT: LINN-MAR 2024-25 EXCELSIOR ELEMENTARY SCHOOL ROOF SEC A

LINN-MAR EXCELSIOR MIDDLE SCHOOL

3555 10TH STREET

MARION, IOWA 52302

BIDS DUE February 18, 2025 at 1:00 PM

THE Owner (HEREINAFTER REFERRED TO AS Owner):

Linn-Mar Community School District

3556 Winslow Road

Marion, Iowa 52302

Architect (hereinafter referred to as Architect/Engineer):

Shive-Hattery, Inc.

222 Third Ave. SE, Suite 300

Cedar Rapids, IA 52401

NON-MANDATORY PREBID MEETING:

DATE: February 6, 2025

TIME: 9:00 AM

LOCATION: Administration Building, 3556 Winslow Road, Marion, Iowa 52302

TO: POTENTIAL BIDDERS

Sealed bids will be received by the Owner at Administration Building, 3556 Winslow Road, Marion, Iowa 52302 until 1:00 PM, Central Time, on February 18, 2025.

Sealed bids will be opened and publicly read at the Administration Building, 3556 Winslow Road, Marion, Iowa 52302 at 1:00 PM , Central Time, on February 18, 2025 or at such later time and place as may then be fixed.

Bids will be considered by the Owner at a public meeting to be held at 3556 Winslow Road at 5:00 PM, Central Time, on March 24, 2025 or at such later time and place as may then be fixed.

The general nature of the work is as follows:

Linn-Mar CSD 2024-25 Excelsior Elementary School Roof Sec A
Project # 2240014660

This summer project base bid consists of removal and replacement of one insulated single-ply roof section and installation of a new R-30 minimum insulated EPDM membrane roof system over the existing steel roof deck. An alternate for an adjacent section will mirror scope of the base bid roofing. The base bid covers approximately 18,900 sf, the alternate section is approximately 900 sf. The replacement 90-mil EPDM membrane shall include a 30-year NDL manufacturer's warranty. The total project is 19,800 sf.

The Owner's construction budget for this project is \$594,000.

The work must commence June 9, 2025 and Substantial Completion August 15, 2025 and Final Completion September 5, 2025.

Bidding documents may be examined at the Architect/Engineer's office, at the Owner's office, online at, and at the following location(s):

Rapids Reproductions, DFS Plan Room, Shive-Hattery Custom Portal, rapidsrepro.com
6015 Huntington Ct. NE, Cedar Rapids, IA 52402
iSqFt isqft.com 4500 W. Lake Forest Drive Ste. 502, Cincinnati, OH 45242
Master Builders of Iowa mbionline.com, 221 Park Street, Des Moines, IA 50309
mbiplanroof-dsm@mbionline.com

Copies of the Bidding documents may be obtained by Bidders and Sub-bidders at Rapids Reproductions, DFS Plan Room, Shive-Hattery Custom Portal, rapidsrepro.com, 6016 Huntington Ct. NE, Cedar Rapids, IA 52402. There is no deposit. It is requested that bidders return the documents in good condition within ten days after receipt of bids.

Each Bidder shall accompany the Bid with a Bid security, in a separate envelope, as security that the successful bidder will enter into a contract for the work bid upon and will furnish after the award of the contract corporate surety bond or bonds, acceptable to the Owner, for the faithful performance of the contract, in an amount equivalent to one hundred percent of the amount of the contract. The bidder's security shall be in an amount equivalent to 5% of the bid amount, and shall be in the form of a cashier's or certified check drawn on a bank in Iowa or a bank chartered under the laws of the United States of America, or a certified bank share draft drawn on a credit union in Iowa or chartered under the laws of the United States of America or a bid bond with corporate surety satisfactory to the Owner. The bid security will be held by the Owner until a contract is fully executed and bonds are approved by the Owner.

All Bidders are required to provide a statement regarding their residency status as required by 875 Iowa Administrative Code Chapter 156.

Contractors using "materials, supplies, and equipment" on projects in designated "exempt entities" may purchase these items without liability for the sales tax. The contractor must have a purchasing agent authorization letter and an exemption certificate from the public entity to present to the retailer, which specifies the construction project and will be available for that project only.

Owner will issue an authorization letter and an exemption certificate to the contractor and/or subcontractors for the purchase or use of building materials, supplies, and equipment to be used on this project only. DO NOT include sales tax on your bid form.

No bid may be withdrawn for a period of 30 days after the date of the scheduled closing time for the receipt of bids.

The Owner seeks to provide opportunities for Targeted Small Businesses in the awarding of contracts and is authorized to award contracts to Targeted Small Businesses per the Iowa Acts of the 73rd General Assembly, 1989 Regular Session, Senate File 2274. For further information about the Targeted Small Business policies, contact the Owner. This project has a target for Targeted Small Business participation of ten percent (10%).

Bidders shall be prepared to submit a performance bond and payment bond and a two-year maintenance bond conditioned on the faithful performance of the contract. Out-of-state bidders shall be prepared to submit an Out-of-State Contractor Bond to the Iowa Division of Labor in accordance with Chapter 91C of the Code of Iowa.

By virtue of statutory authority, a preference will be given to products and provisions grown and coal produced within the State of Iowa, and to Iowa labor to the extent lawfully required under Iowa law.

It is the intent of the Owner to award a contract to the lowest responsible, responsive bidder provided the bid has been submitted in accordance with the bidding requirements. The Owner reserves the right to waive informalities or irregularities. The Owner reserves the right to reject any or all bids.

Published by order of the Board of Directors of the School District.

Submit your offer on the Bid Form provided. Bidders may supplement this form as appropriate.

END OF SECTION 00 1113

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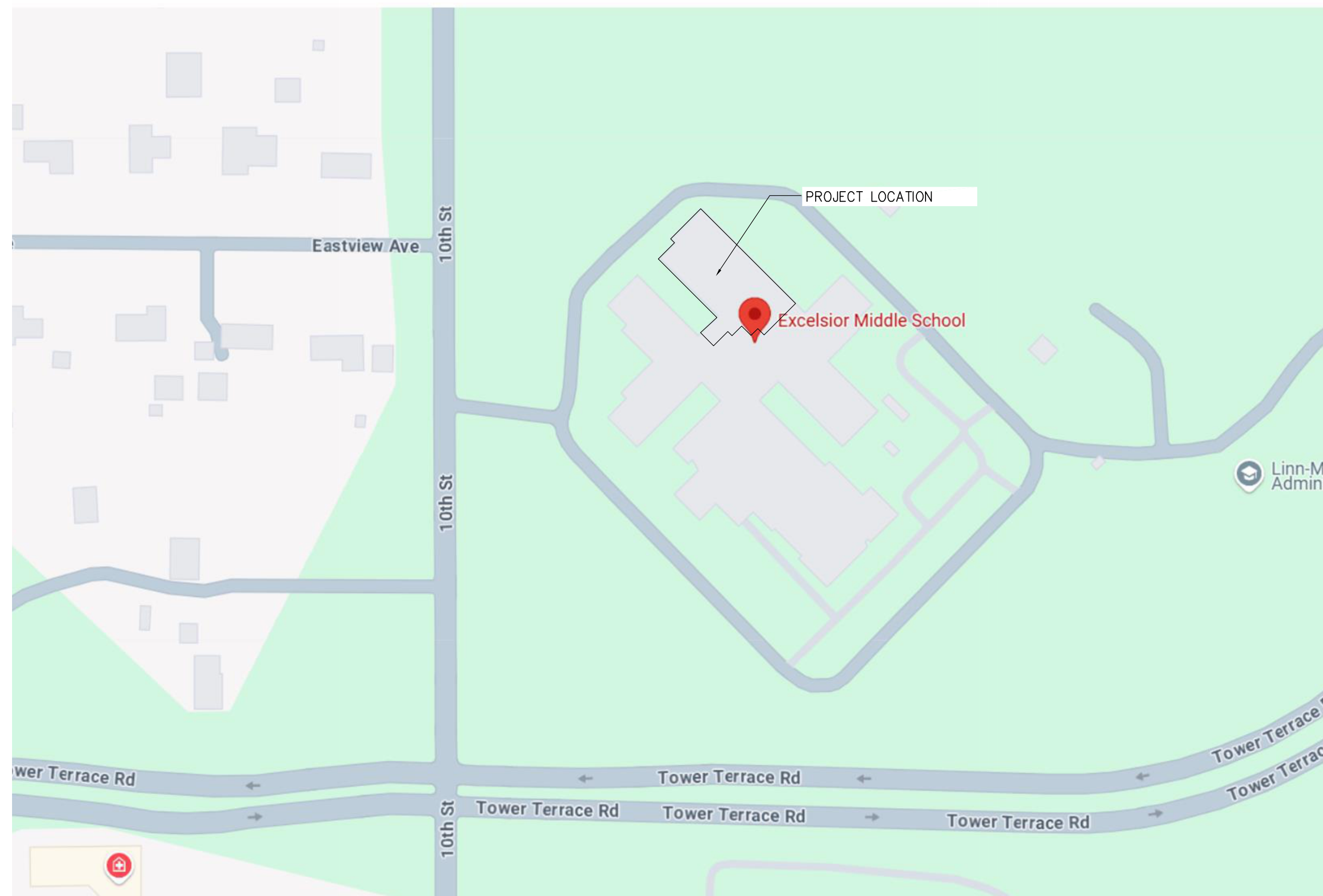
2025 ROOF IMPROVEMENTS EXCELSIOR MIDDLE SCHOOL

ARCHITECT

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DAILY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	01/09/2024
DATE	
PRINTED OR TYPED NAME	DARRELL FRETT
LICENSE NUMBER	3529
MY LICENSE RENEWAL DATE IS	JUNE 30, 2024
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL	

SHIVE-HATTERY
 ARCHITECTURE+ENGINEERING
 222 3rd Avenue SE Suite 300 | Cedar Rapids, Iowa 52406
 319.399.6227 | Fax: 319.394.4251 | shivehattery.com
 Iowa | Illinois | Indiana

PROJECT LOCATION



SHEET INDEX

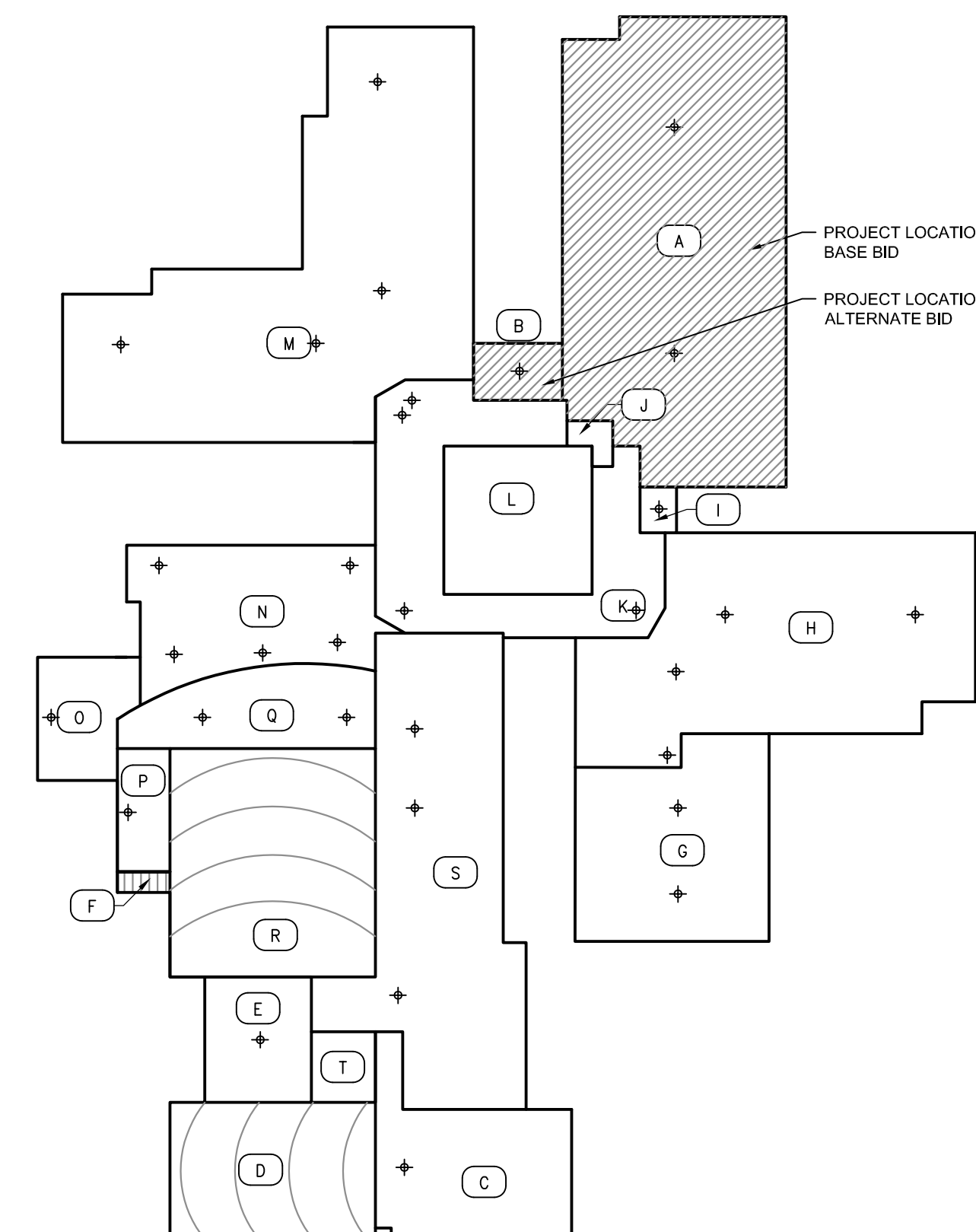
G0.01	COVER SHEET
A1.01	ROOF PLAN
A5.01	DETAILS

STAGING



- NOTE:**
- GROUND STAGING AND TRAFFIC OVER ANY AND ALL GRASS AND LAWN AREAS WILL REQUIRE NEW SOD TO BE INSTALLED AFTER FINAL COMPLETION OF THE ROOF AND PRIOR TO RELEASE OF RETENTION PAYMENT.
 - ANY DAMAGE TO CONCRETE OR ASPHALT DRIVES, PATHS OR SIDEWALK(S) WILL REQUIRE DEMOLITION AND REPLACEMENT TO MATCH EXISTING. DEMOLITION TO CONTINUE PAST DAMAGED AREA TO NEXT CONSTRUCTION JOINT.
 - THE VERIFICATION OF EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).

KEY PLAN



EXCELSIOR MIDDLE SCHOOL
3555 10TH STREET, MARION, IOWA 52302

2025 ROOF IMPROVEMENTS
 EXCELSIOR MIDDLE SCHOOL
 LINN-MAR COMMUNITY SCHOOL DISTRICT
 2899 NORTH TENTH STREET
 MARION, IOWA 52302

12/17/2024
 PRELIMINARY REVIEW
 PROJECT NO: 2240014660
 CLIENT NO:

G0.01

DRAWN:	TJG
APPROVED:	SS
ISSUED FOR:	PRELIMINARY
DATE:	12/17/24
PROJECT NO.:	24001469
FIELD BOOK:	
CLIENT NO.:	

LEGEND			
ROOFING			
PLAN MARK	DESCRIPTION	REFERENCE	REMARKS
☒	MECHANICAL UNIT CURB	DETAIL 5 SHEET A5.01	-
—	ROOF EDGE	SEE PLAN	-
====	PARAPET WALL	SEE PLAN	-
⊕ _{OD}	OVERFLOW ROOF DRAIN	DETAIL 7 SHEET A5.01	-
⊕	ROOF DRAIN	DETAIL 6 SHEET A5.01	-
⊕ _{VR}	VENT THROUGH ROOF	DETAIL 4 SHEET A5.01	-
1/4" FT	TAPERED INSULATION SLOPE	N/A	-
(A)	ROOF LEVEL DESIGNATION	N/A	-
— —	LADDER	N/A	CLEAN, PRIME AND PAINT (2 COATS)
■	WALKWAY PAD	N/A	-

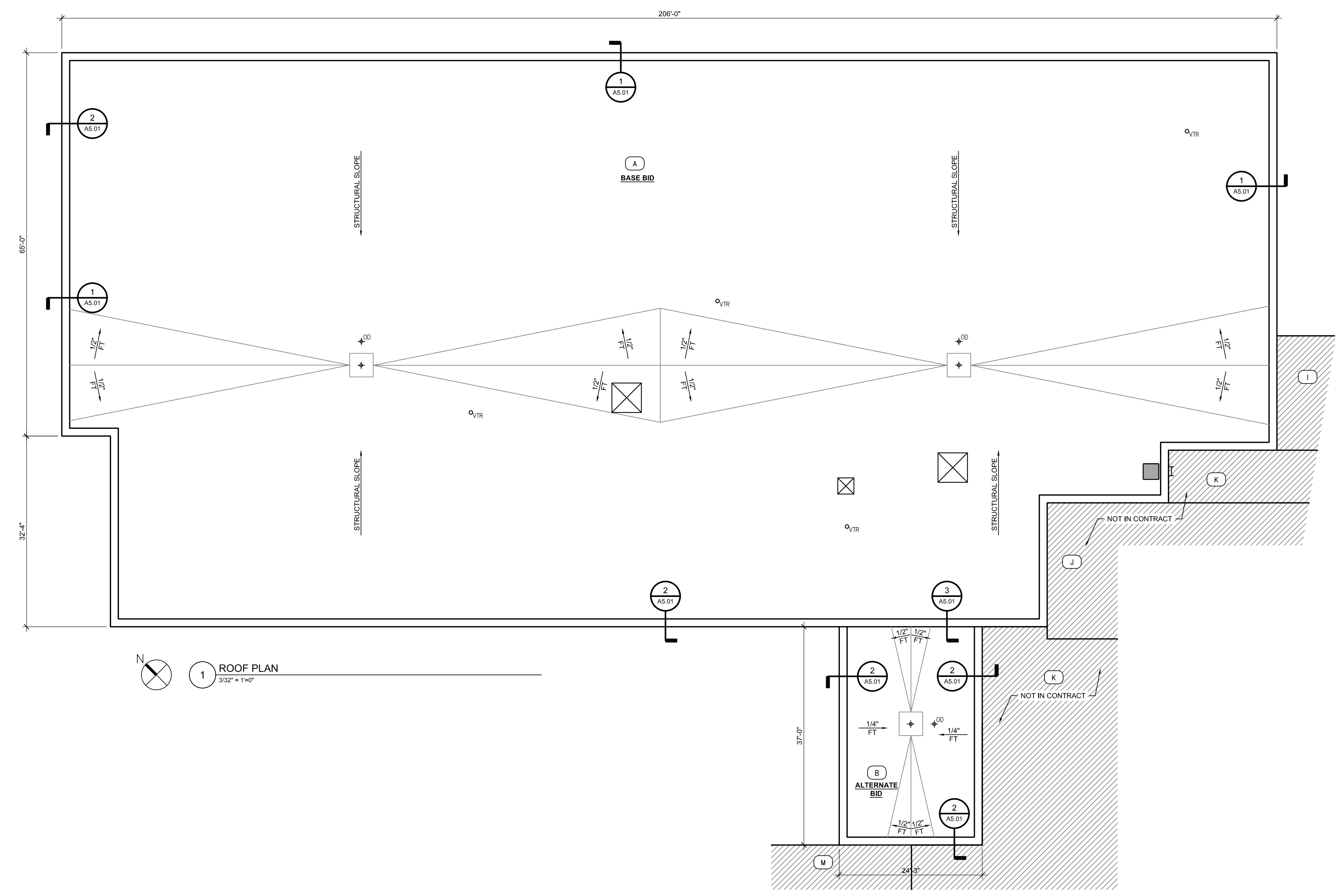
- GENERAL NOTES**
- ROOF PLAN LAYOUT, LOCATION AND SECTIONS WERE TAKEN FROM EXISTING BUILDING PLANS AND FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CORRE THE ROOF. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS OF THE EXISTING ROOF SYSTEM INCLUDING INSULATION TYPE AND THICKNESS. FAILURE TO VERIFY CONDITIONS WILL BE AT THE CONTRACTOR'S OWN RISK.
 - THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 - NEW ROOFING ASSEMBLY CONSISTS OF:
FROM ROOF MEMBRANE
COVER BOARD
INSULATION SYSTEM
VAPOR BARRIER
THERMAL BARRIER BOARD
EXISTING METAL DECK
 - REMOVE EXISTING ROOF SYSTEMS DOWN TO THE EXISTING DECK.
 - REMOVE EXISTING SHEET METAL, UNLESS NOTED OTHERWISE, AND REPLACE WITH NEW AS PLANS SHOW.
 - TOP FASTENING OF COPING CAP COMPONENTS IS NOT ALLOWED UNLESS APPROVED IN WRITING PRIOR TO INSTALLATION. FAILURE TO DO SO WILL BE AT CONTRACTOR'S OWN RISK AND WILL RESULT IN REPLACEMENT OF COMPONENTS.
 - ARROWS ON THE PLAN INDICATE DIRECTION OF DRAINAGE FOR TAPERED INSULATION SYSTEM. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS OF BUILDING AND DRAIN LOCATIONS BEFORE ORDERING TAPERED INSULATION MATERIALS. SUBMIT TAPERED INSULATION LAYOUT PLAN. SEE SPECIFICATION SYSTEM DESCRIPTION.
 - ALL EXISTING METAL HOODS, VENTS, CAPS, ETC. REMOVED AND REINSTALLED DURING CONSTRUCTION SHALL BE PROPERLY REFASTENED TO PROVIDE WATERTIGHT CONDITIONS.
 - RAISE ALL CURBS AND VENTS WHICH DO NOT MEET THE 6" MINIMUM FLASHING HEIGHT REQUIREMENT. INSTALL TAPERED CRCKET ON UP-SLOPE SIDE OF CURBS 2" OR MORE WIDE. CRCKETS SHALL HAVE A 1/2" PER FOOT MINIMUM FINISHED SLOPE AWAY FROM CURB AND VALLEYS DIRECTING WATER TO THE CURB'S SIDES.
 - FLASH ALL DRAINS, CURBS, VENTS, AND STACKS AS SHOWN IN PLANS. REFER TO MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS FOR ANY MISCELLANEOUS DETAILS NOT SHOWN IN THE PLANS.
 - REPLACE ANY DAMAGED, BROKEN OR MISSING DRAIN GRATES, CLAMPING RINGS AND BOLTS WITH NEW. NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL. EXISTING PLASTIC DRAIN GRATES SHALL BE REPLACED WITH METAL DRAIN GRATES. ALL DRAINS SHALL BE TESTED AND MADE OPERATIONAL PRIOR TO COMPLETION OF PROJECT.
 - ALL NEW AND EXISTING DRAIN GRATES AND CLAMPING RINGS SHALL BE PAINTED SAFETY RED. THE CONTRACTOR SHALL CLEAN, REMOVE SURFACE RUST, PRIME AND PAINT ANY EXISTING DRAIN PARTS.
 - USE OF MANUFACTURER-APPROVED PENETRATION POKET WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED IN WRITING FROM SHIVE-HATTERY, INC. PRIOR TO INSTALLATION.
 - PROVIDE DISCONNECT AND RECONNECT OF MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOF SYSTEM AND INCREASE IN HEIGHT OF CURB. VERIFY EQUIPMENT IS OPERATIONAL WHEN WORK IS COMPLETE. COORDINATE THIS WORK WITH THE OWNER.
 - GROUNDROOF PROTECTION CAN BE VERSA MATS OR PROTECTION DETAIL 5 SHEET A5.02.
 - THE CONTRACTOR SHALL INCLUDE ANY MODIFICATIONS, MATERIALS, AND/OR IMPROVEMENTS REQUIRED BY THE ROOF SYSTEM MANUFACTURER TO MEET SPECIFIED WARRANTY.
 - ALL PERIMETER WOOD BLOCKING SHALL BE OF UNIFORM HEIGHT AND OF A MINIMUM HEIGHT TO MATCH THE MAXIMUM THICKNESS OF THE NEW INSULATION SYSTEM. THE CONTRACTOR SHALL VERIFY HEIGHT OF ALL WOOD BLOCKING. CONTRACTOR SHALL FASTEN UNSECURED EXISTING WOOD BLOCKING AND NEW WOOD BLOCKING ACCORDING TO THE FOLLOWING REQUIREMENTS:

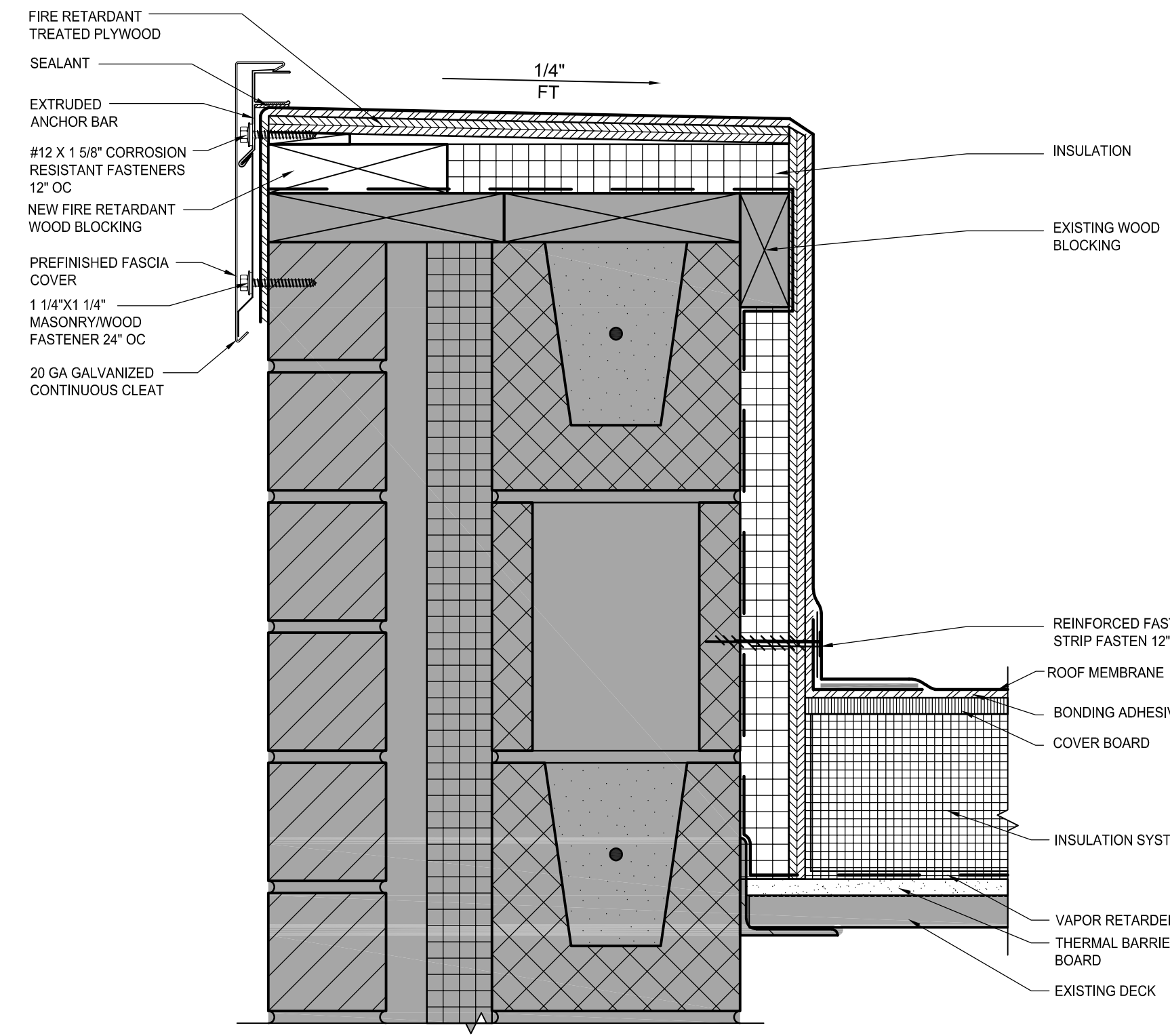
WOOD TO WOOD CONNECTIONS SHALL BE FASTENED WITH #12-15x3" WOOD TO WOOD FASTENERS. 2 ROWS STAGGERED 24" OC AND AT 12" OC WITH 8" OF OUTSIDE CORNERS. FASTENER MUST MEET MINIMUM OF 10M PULL-OUT VALUE. SEE SPECIFICATIONS FOR APPROVED FASTENERS.

WOOD TO MASONRY CONNECTIONS SHALL BE FASTENED WITH 1/4" - #14x4" WOOD TO MASONRY FASTENERS AT 24" OC MAX AND AT 12" OC WITHIN 8" OF OUTSIDE CORNERS. SEE SPECIFICATIONS FOR APPROVED FASTENERS.

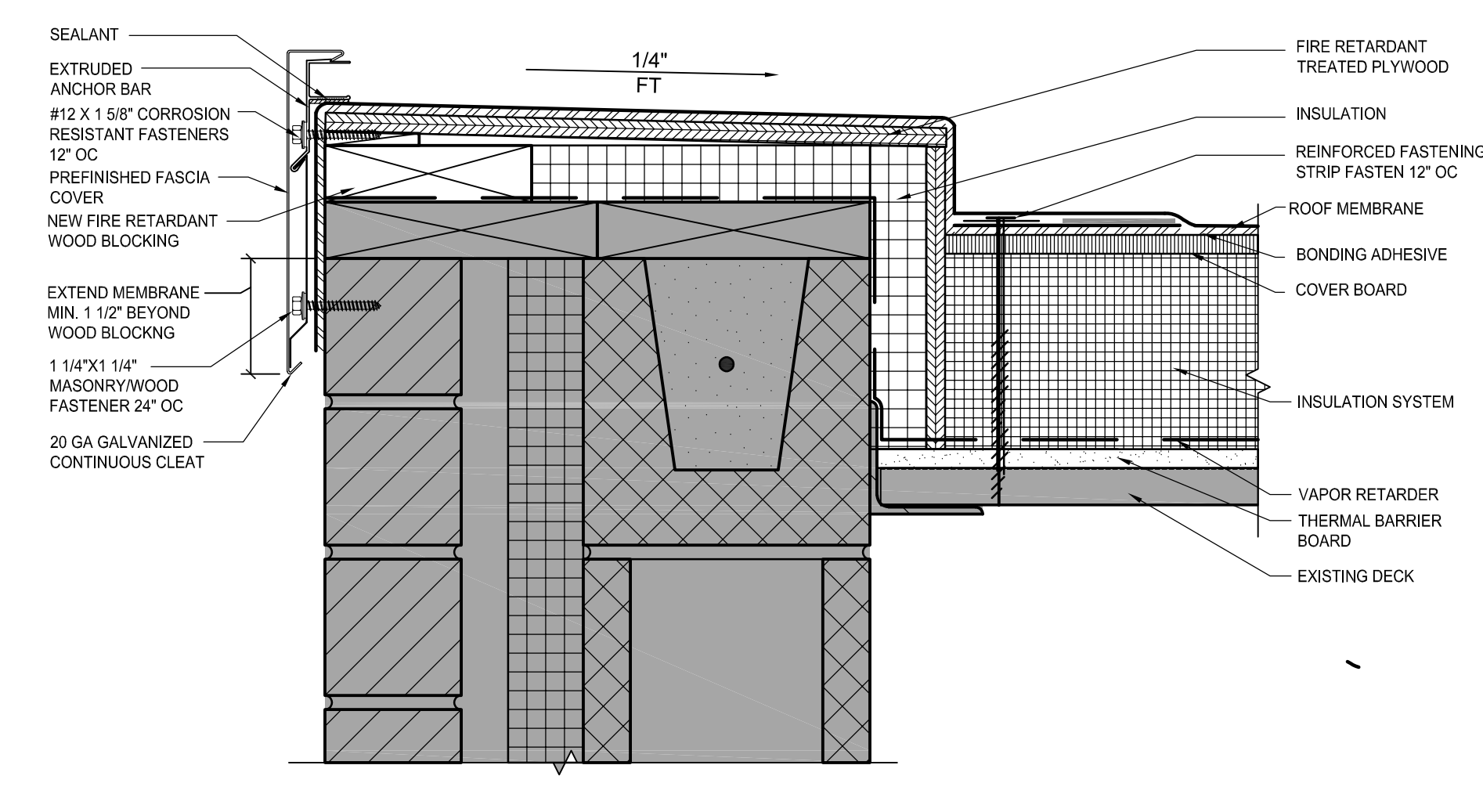
WOOD TO STEEL CONNECTIONS SHALL BE FASTENED WITH 1/4" - #14x4" SELF-DRILLING FASTENER AT 48" OC MAX AND AT 24" OC WITHIN 8" OF OUTSIDE CORNERS. SEE SPECIFICATIONS FOR APPROVED FASTENERS.

WOOD TO PLATE STEEL CONNECTIONS SHALL BE FASTENED WITH 1/2" HOT DIPPED GALVANNEED THRU BOLTS AT 48" OC MAX AND AT 24" OC WITHIN 8" OF OUTSIDE CORNERS. SEE SPECIFICATIONS FOR APPROVED FASTENERS.

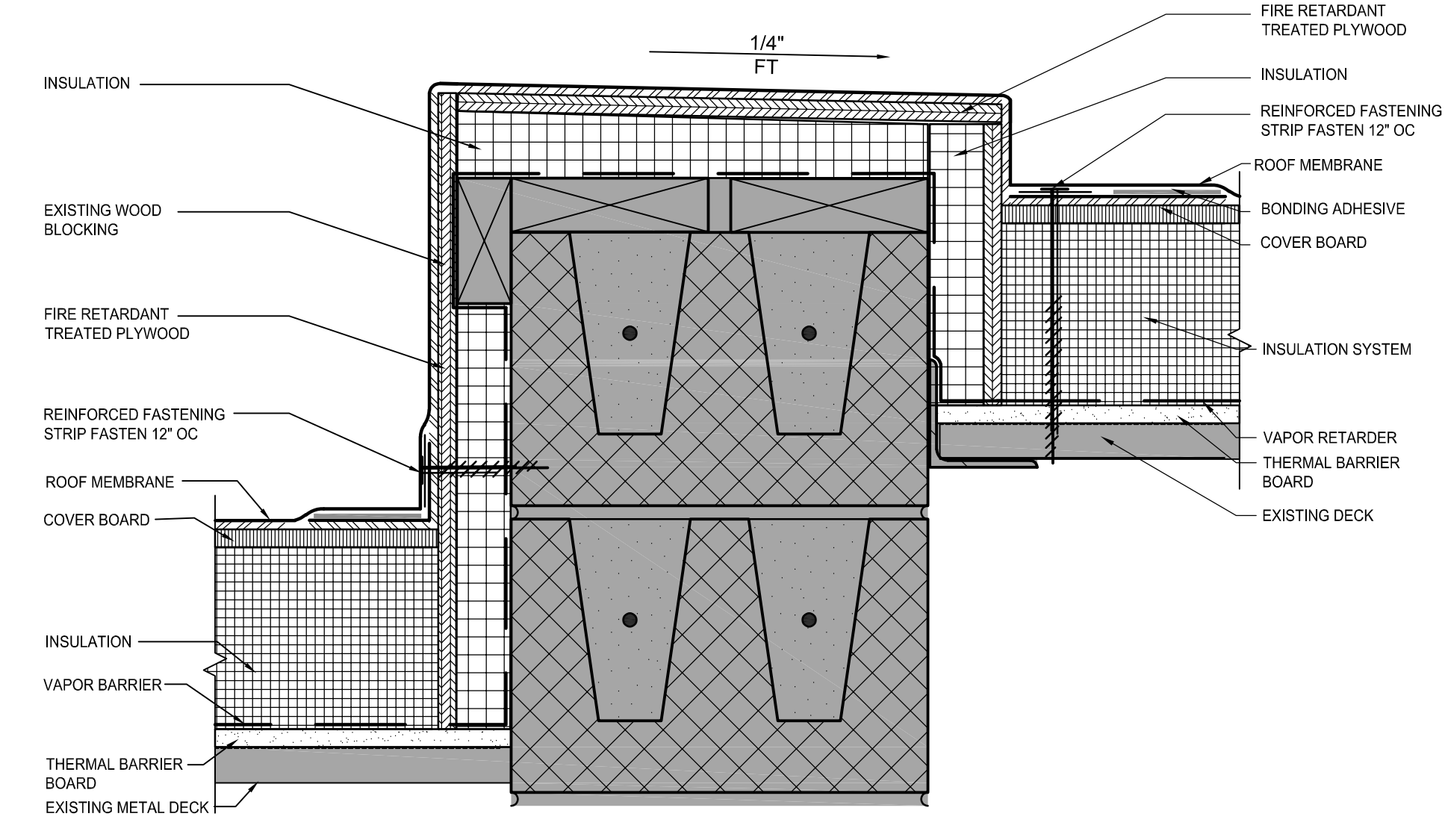




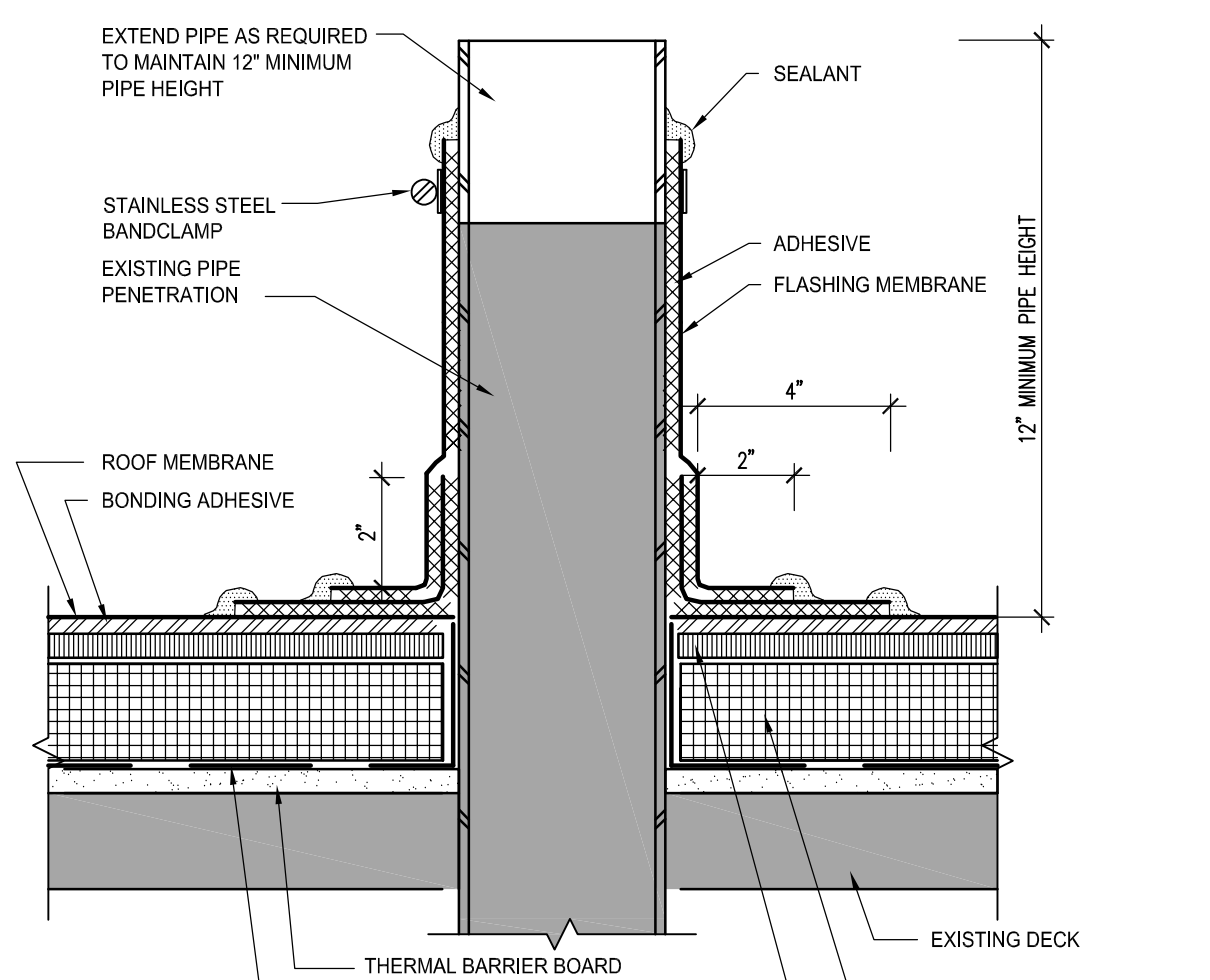
1 PARAPET DETAIL FLASHING
NOT TO SCALE



2 PARAPET DETAIL FLASHING
NOT TO SCALE

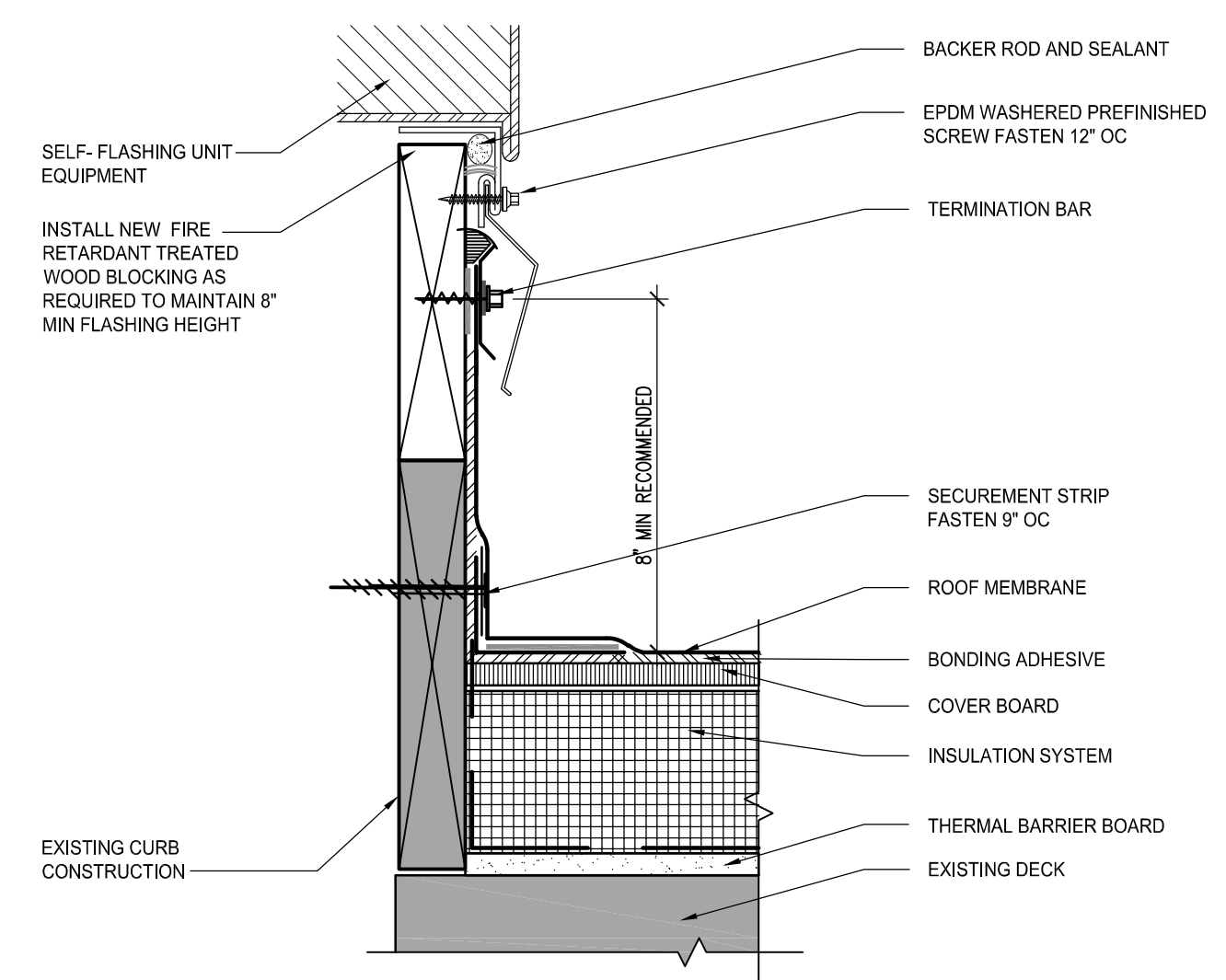


3 ROOF TRANSITION FLASHING
NOT TO SCALE



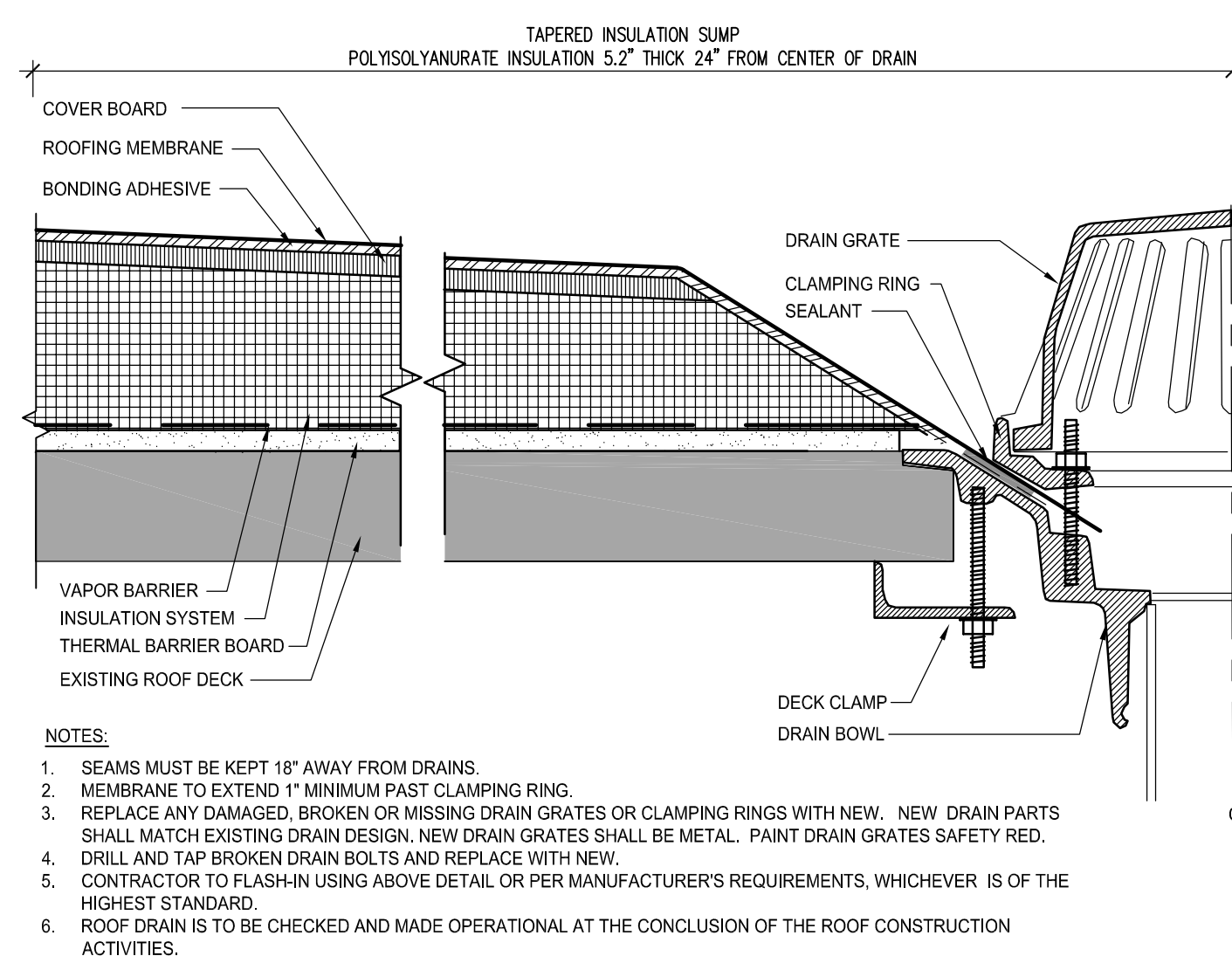
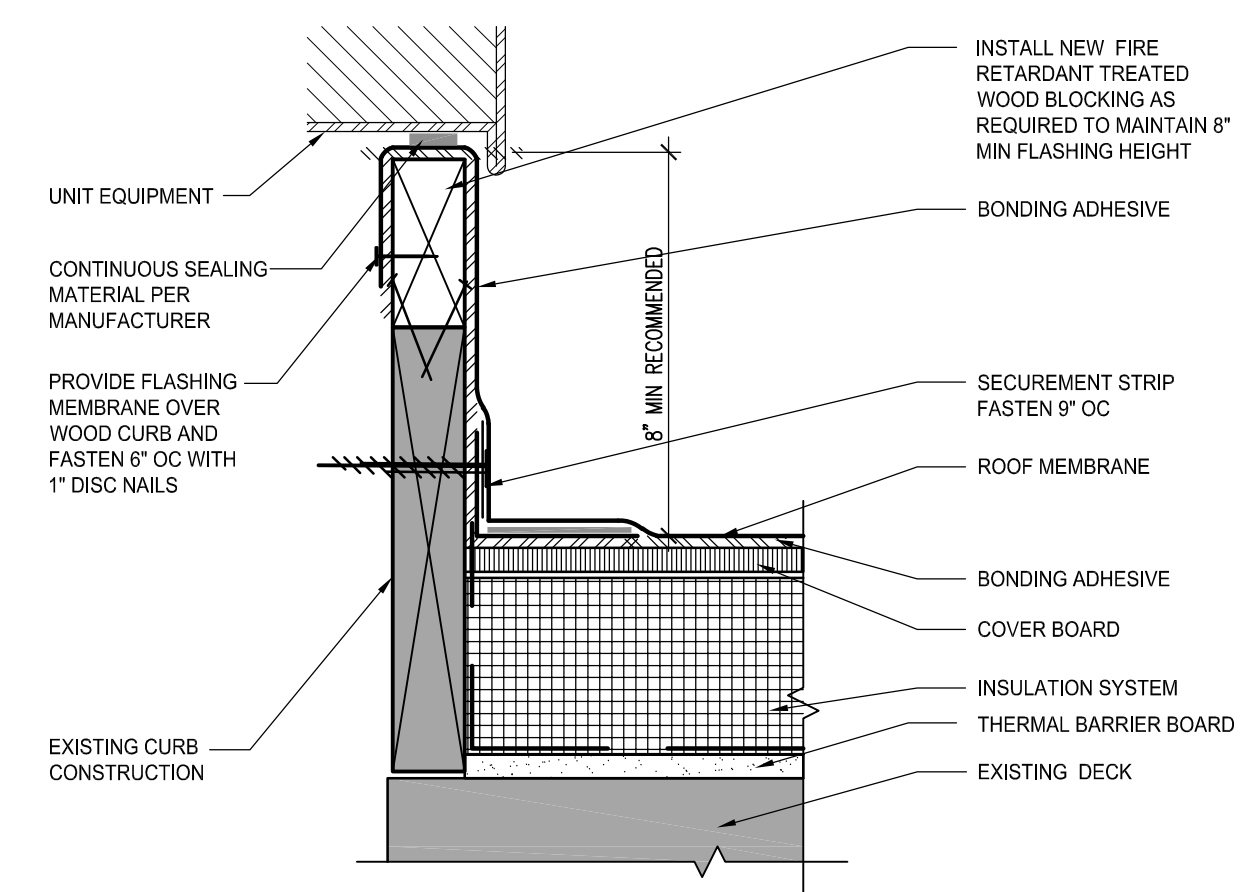
4 EPDM VENT FLASHING / LADDER STAND
NOT TO SCALE

THIS DETAIL APPLIES WHEN UNIT CANNOT BE LIFTED
- THE UNIT EQUIPMENT IS SELF-FLASHING
- THE FLASHING MEMBRANE IS NOT INSTALLED OVER WOODEN CURBS

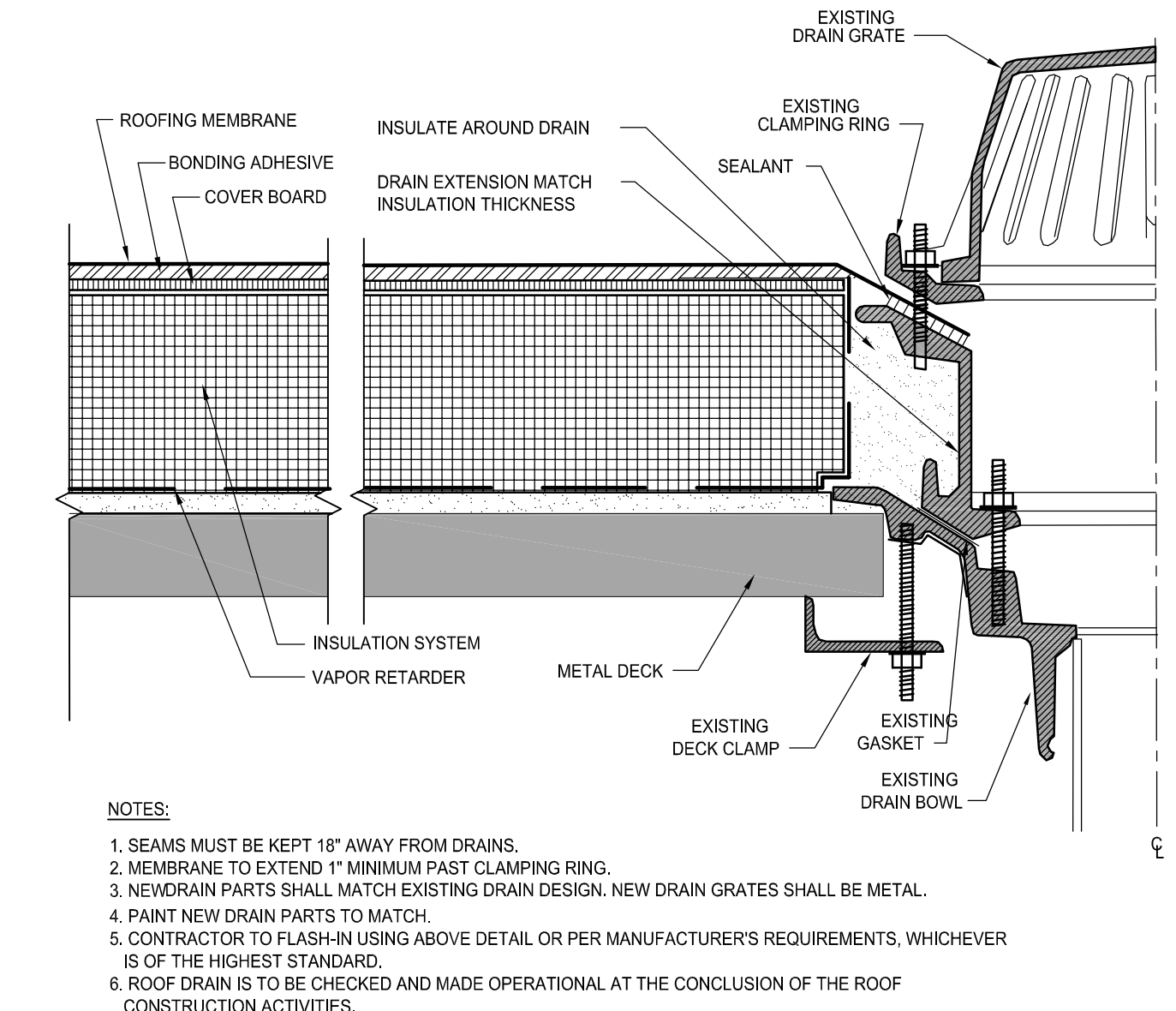


5 CURB FLASHING
NOT TO SCALE

THIS DETAIL APPLIES WHEN UNIT CAN BE LIFTED
- THE UNIT EQUIPMENT IS NOT SELF-FLASHING
- THE FLASHING MEMBRANE IS INSTALLED OVER WOODEN CURBS



6 ROOF DRAIN
NOT TO SCALE



7 OVERFLOW ROOF DRAIN
NOT TO SCALE

- NOTES:
- SEAMS MUST BE KEPT 1' AWAY FROM DRAINS
 - MEMBRANE TO EXTEND 1" MINIMUM PAST CLAMPING RING
 - REPLACE ANY DAMAGED, BROKEN OR MISSING DRAIN GRATES OR CLAMPING RINGS WITH NEW. NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL. PAINT DRAIN GRATES SAFETY RED. DRILL AND TAP BROKEN DRAIN BOLTS AND REPLACE WITH NEW.
 - CONTRACTOR TO FLASH-IN USING ABOVE DETAIL OR PER MANUFACTURER'S REQUIREMENTS, WHICHEVER IS OF THE HIGHEST STANDARD.
 - ROOF DRAIN IS TO BE CHECKED AND MADE OPERATIONAL AT THE CONCLUSION OF THE ROOF CONSTRUCTION ACTIVITIES.

- NOTES:
- SEAMS MUST BE KEPT 1' AWAY FROM DRAINS.
 - MEMBRANE TO EXTEND 1" MINIMUM PAST CLAMPING RING.
 - NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL.
 - PAIN NEW DRAIN PARTS TO MATCH.
 - CONTRACTOR TO FLASH-IN USING ABOVE DETAIL OR PER MANUFACTURER'S REQUIREMENTS, WHICHEVER IS OF THE HIGHEST STANDARD.
 - ROOF DRAIN IS TO BE CHECKED AND MADE OPERATIONAL AT THE CONCLUSION OF THE ROOF CONSTRUCTION ACTIVITIES.

DRAWN:	TJG
APPROVED:	SS
ISSUED FOR:	PRELIMINARY
DATE:	12/17/24
PROJECT NO.:	240014690
FIELD BOOK:	
CLIENT NO.:	